



**OGDEN CITY CORPORATION
INVITATION TO BID
2321 & 2343 Quincy Ave. Ogden, UT**



Prepared by Jeremy Smith
Ogden City Community Development
2/29/24

OGDEN CITY CORPORATION
INVITATION TO BID
2321 & 2343 Quincy Ave

ADVERTISEMENT

Ogden City is accepting sealed bids from Contractors interested **in the construction of two new single-family homes located at 2321 & 2343 Quincy Avenue, Ogden, Utah.** All work must meet current industry standards and all federal, state and local rules and regulations.

Bid information packets may be downloaded from the Ogden City Website located <https://www.ogdencity.com/264/Purchasing>.

Bidders are responsible for securing any and all addenda issued.

Licensed contractors submitting bids must be able to comply with insurance and bonding requirements and have experience with building multiple single-family homes.

Sealed bids shall be submitted to the Purchasing Office, c/o the 2nd Floor Information / Constable Desk, 2549 Washington Blvd., Ogden, UT by **Thursday, March 28st, 2024, no later than 1 PM.** At which time, bids will be opened and read aloud at the 7th Floor Conference room of the same address. **LATE BIDS WILL NOT BE ACCEPTED.**

The City reserves the right to accept or reject any bids that best serve its convenience and/or is found to be in the best interest of the City.

Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

Ad Published: March 2 & 9, 2024

OGDEN CITY CORPORATION
INVITATION TO BID
2321 & 2343 Quincy Ave – New Construction

I. SCOPE OF WORK

Contractor will be responsible for furnishing and installing the equipment, facilities, services, and appurtenances thereto as included in the Contract Documents. The work generally includes, but is not limited to, the following: the construction of two new single-family homes located at 2321 & 2343 Quincy Avenue, Ogden, Utah.

Contractor will be responsible for:

- Review of construction or specification documents prior to submitting a bid.
- Competitively bidding required work, negotiating, and contracting with subcontractors to accomplish the work, as applicable.
- Completing the Project on time and within budget per the plans and specifications.

THE ATTACHED DOCUMENTS ARE COPYRIGHT PROTECTED AND ARE THE PROPERTY OF OGDEN CITY AND MAY NOT BE REPRODUCED FOR ANY OTHER PROJECT UNLESS WRITTEN AUTHORIZATION IS OBTAINED.

PROJECT MANAGER: Sean Mathis

Ogden City Community Development

Desk: 801-629-8935

II. BID CONTENT

Ogden City will accept bids from contractors that are capable of providing all of the work described in the drawings and specifications. Applicants shall include qualifications for work set forth in the Scope of Work for which it proposes to provide services. Each bid must include, at a minimum, the following information:

Only complete submittals will be reviewed and considered. A complete submittal will contain the following:

1. Bid Security
2. Complete Request for Qualification
3. Completed Cost Breakdown based on building plans and allowances and specifications.- Using Template included in Bid Package
4. Estimated Construction Schedule
 - Home to be built on a 180-day schedule. (Include fencing and landscaping in schedule).
 - Must be able to complete / pass final inspection in 180 days from commencement of construction of each home (including start and completion date).

III. BID REVIEW AND ASSESSMENT

Bids will be reviewed based on the requirements indicated in Section II. Ogden City Corporation shall have the right to verify the accuracy of all information submitted and to make such investigation, as it deems necessary to determine the ability of a prospective Contractor to perform the obligations in the response. Ogden City reserves the right to reject any response where the available evidence or information does not satisfy Ogden City that the prospective Contractor is qualified to carry out properly the obligations of the response, is a person or firm

of good reputation or character for strict, complete, and faithful performance of business obligations, or if the prospective Contractor refuses to cooperate with and assist Ogden City in the making of such investigation.

IV. INSURANCE REQUIREMENTS

The awarded Contractor shall procure and maintain for the duration of the contract the required insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of this agreement. The Contractor shall pay the cost of such insurance.

a. The amount of insurance shall not be less than:

- i) Commercial General Liability: Minimum of \$3,000,000 in general aggregate with \$1,000,000 for each occurrence. Policy to include coverage for operations, contractual liability, personal injury liability, products/completed operations liability, broad-form property damage (if applicable) and independent contractor's liability (if applicable) written on an occurrence form.
- ii) Business Automobile Liability: \$1,000,000 combined single limit per occurrence for bodily injury and property damage for owned, non-owned and hired autos.
- iii) Workers' Compensation and Employer's Liability: Worker's Compensation limits as required by the Labor Code of the State of Utah and employer's liability with limits of \$1,000,000 per accident.

b. Each insurance policy required by this Agreement shall contain the following clauses:

- i) "This insurance shall not be suspended, voided, canceled, reduced in coverage or in limits except after thirty days prior written notice by certified mail, return receipt requested, has been given to the Ogden City Corporation".

ii) “It is agreed that any insurance or self-insurance maintained by Ogden City Corporation, its elected or appointed officials, employees, agents and volunteers shall be excess of Contractor’s insurance and shall not contribute with insurance provided by this policy.”

c. Each insurance policy required by this Agreement, excepting policies for Workers’ Compensation, shall contain the following clause in a separate endorsement:

i. “Ogden City Corporation, its elected and appointed officials, employees, volunteers and agents are to be named as additional insureds in respect to operations and activities of or on behalf of, the named insured as performed under Agreement with Ogden City Corporation.”

d. Insurance is to be placed with insurers acceptable to and approved by Ogden City Corporation. Contractor’s insurer must be authorized to do business in Utah at the time the license is executed and throughout the time period the license is maintained, unless otherwise agreed to in writing by Ogden City Corporation. Failure to maintain or renew coverage or to provide evidence of renewal will be treated as a material breach of contract.

e. City shall be furnished with original certificates of insurance and endorsements effecting coverage required within, signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements are to be received by the city before work begins on the premises.

f. City reserves the right to require complete, certified copies of all required insurance policies at any time.

g. Any deductibles or self-insured retentions must be declared to and approved by the City. At the option of the City, either: the insurer shall reduce or eliminate such deductibles or self-insured retentions as respect to the City, their elected and

appointed officials, employees, agents, and volunteers; or Contractor shall provide a financial guarantee satisfactory to the City guaranteeing payment of losses and related investigations, claim administration and defense expenses.

h. Contractor shall include all its contractors as insured under its policies or shall furnish separate certificates and endorsements for each contractor. All coverages for Contractor's contractors shall be subject to all the requirements stated herein.

i. Nothing contained herein shall be construed as limiting in any way the extent to which Contractor may be held responsible for payments of damages to persons or property resulting from the activities of Contractor or its agents, employees, invitees, or contractors upon the Premises during the License Period.

Contractor's Obligation to Verify Employment Status: Contractor shall register and participate in the Status Verification System and comply with Utah Code Ann. Section 63G-11-103 of the Utah Identity Document and Verification Act.

V. BONDING REQUIREMENTS

Submission of a Bid constitutes a promise that the Bidder will enter the Contract Documents in the form presented in the Contract Documents. Bidders should carefully examine all Contract Documents, including the required Bonds and insurance to be provided by the Bidder.

A. BID SECURITY

- a) Amount of Bid Security: A Bid Security must accompany each Bid. The total amount of the Bid on which Bid security is to be based shall be the sum of all items of the Bid constituting the maximum amount of the possible award to the Bidder. The Bond amount must equal at least five (5) percent of the total amount of the Bid. The Bid Security may be in the form of a Cashier's check or Bid Bond. No other form of Bid Security will be accepted.

- b) Bid Bond: The Bond shall accompany and be attached to the Bid and shall be issued by a surety company authorized to do business in the State of Utah. The Bond shall guarantee that the Bidder, if awarded the work, will promptly enter into the Construction Contract to perform the work in the manner required by the Contract Documents.
- c) Cashier's Check: If a cashier's check is used in lieu of a Bid Bond, the cashier's check must be drawn on a bank doing business in the State of Utah and made payable to Ogden City Corporation. Note that personal or company checks are not acceptable as bid security. If a cashier's check is used in lieu of a Bid Bond or if the Bid Bond does not specifically so provide, a certificate from an approved surety company guaranteeing execution of performance and payment bonds in the full amount of the bid must accompany the bid.
- d) Return of Bid Security: Owner will return Bid security to Contractor within seven (7) days after receipt of the Construction Contract by Ogden City Purchasing Division. Bid Bonds and cashier's checks of the lowest three Bidders will be held until the Construction Contract is awarded and a signed copy received by Ogden City Purchasing Division, or all bids have been rejected. All other bid securities shall be returned following the bid opening. The liability of Owner in regard to the checks shall be limited only to the return of the checks.
- e) Default: In the event of failure or refusal of the Bidder to enter into the Construction Contract and the delivery to the Owner a Performance Bond, Payment Bond and any other Bonds or documents required by the Contract Documents after Notice of Intent to Award by the Owner, the Bidder forfeits the sum of the Bid Bond or cashier's check as liquidated damages to the Owner.

B. CONTRACT SECURITY – PAYMENT, PERFORMANCE, AND OTHER BONDS

- a) Prior to OWNER executing the Agreement, CONTRACTOR shall file with the OWNER a good and sufficient performance Bond and a payment Bond, each in the sum of not less than 100 percent of the Contract Price.

- b) The Bonds shall be executed by the CONTRACTOR and secured by a company duly and regularly authorized to do a general surety business in the State of Utah and named in the current list of Companies holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies as published in current Circular 570 (amended) by the Audit Staff Bureau of Accounts, U.S. Treasury Department, with an underwriting limitation equal to or greater than the Contract Price which the Bond guarantees or with a current "A-" rating or better in A.M. Best Co., Inc.'s, Best Insurance Reports, Property and Casualty Edition.
- c) Said Bonds shall guarantee the faithful performance of the Construction Contract by the CONTRACTOR and payment of labor and materials. They shall inure by their terms to the benefit of the OWNER. Neither this nor any other provision requiring a performance Bond shall be construed to create any rights in any third-party Claimant as against the OWNER for performance of the Work under the Construction Contract.
- d) If the surety on any Bond furnished by CONTRACTOR is subject to any proceeding under the Bankruptcy Code (Title 11, United States Code) or becomes insolvent or its right to do business is terminated in the State of Utah or it ceases to meet the requirements of this Article, CONTRACTOR shall, within 15 days thereafter, substitute another Bond and surety, both of which must be acceptable to OWNER.

VI. GENERAL TERMS AND CONDITIONS

- a) Qualified respondents shall be Licensed Contractors in the State of Utah, for this type of work, and who meet Ogden City's insurance and bonding requirements, and have experience with all work defined in the scope of work.
- b) For projects that are security-sensitive in nature, Ogden City reserves the right to conduct a criminal background check of each person who will be providing services in response to this Invitation to Bid. If requested, Contractor shall submit a BCI Criminal History Report dated within 30 days of response to RFP for each

employee who will be on-site, that shows “Criminal History Verified” and has Arrest History attachments. Employees who have any convictions on their BCI record may be subject to further review and approval by Ogden City. Ogden City may reject any response to this RFP that involves services from a person or entity that Ogden City determines is unfit or unqualified to fulfill the requirements of this bid.

- c) All work must meet current industry standards including all Federal, State and local rules and regulations.
- d) Ogden City reserves the right to request clarification of information submitted, and to request additional information from any proposer.
- e) Ogden City will make every effort to ensure all offerors are treated fairly and equally throughout the entire advertisement, review, and selection process. The procedures established herein are designed to give all parties reasonable access to the same basic information.
- f) Cost of Developing Proposals – All costs related to the preparation of proposals and any related activities are the sole responsibility of the offeror. Ogden City assumes no liability for any costs incurred by offerors throughout the entire selection process.
- g) Proposal Ownership - Once submitted, all proposals, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror.
- h) Conflict of Interest - No member, officer, or employee of Ogden City, during his or her tenure shall have any interest, direct or indirect, in this contract or the proceeds thereof, except as permitted by Ogden City policy.
- i) Non-Collusion - Offeror guarantees the proposal is not a product of collusion with any other offeror and no effort has been made to fix the proposal price or any offeror or to fix any overhead, profit of cost estimate of any proposal price.
- j) Ogden City reserves the right to accept or reject any submittal as it best serves convenience and/or is found to be in the best interest of the City.
- k) Ogden City reserves the right to reject any irregular submission and reserves the right to waive any irregularity in submissions.

- I) Ogden City encourages and welcomes bids from small, local, women and minority owned businesses and other disadvantaged business enterprises.

VII. GOVERNING INSTRUCTIONS

This ITB will constitute the governing document for submitting Bids and will take precedent over any oral representations.

VIII. SUBMITTAL & BID OPENING

A. Submittal: Thursday March 28, 2024, no later than 1 PM; firms shall submit two (2) copies of all documents required in one sealed envelope addressed to Ogden City's Purchasing Office.

Refer to Bid Content section for the required documents. On the envelope, indicate your firm's name and the "2321 & 2343 Quincy Avenue- New Home Construction".

Submit Bid To:

Ogden City Corporation

c/o 2nd Floor Information / Constable Desk

ATTN: Purchasing Office

"2321 & 2343 Quincy Avenue- New Home Construction"

2549 Washington Blvd.

Ogden, UT 84401

LATE BIDS WILL NOT BE ACCEPTED.

If the sealed bid is submitted by mail or other delivery service, it must be received prior to the submission deadline.

The bid may also be hand-carried to the 2nd Floor Information / Constable Desk at the same address.

No facsimile or email transmittals will be accepted.

It is the sole responsibility of those responding to this Invitation to Bid to ensure that their submittal is made to the correct location and in compliance with the stated date and time. City offices are closed on holidays.

Once submitted, all bids, including attachments, supplementary materials, addenda, etc. become the property of Ogden City and will not be returned to the offeror. These are considered public records unless protected within [Utah Code 63G-2-1](#).

B. Bid Opening: Shortly after the deadline, bids will be opened and read aloud at the 7th Floor Conference Room located at the same address.

IX. CONTACT INFORMATION

For any questions related to this ITB, please contact the Ogden City Purchasing Office via email purchasing@ogdencity.com or at (801) 629-8742.

The question-and-answer period ends at **1PM on Tuesday March 26, 2024**.

Please check the City's Purchasing webpage for any published Q&A or Addenda document(s) that might have already addressed your questions or concerns - <https://www.ogdencity.com/264/Purchasing>.

Thank you for your interest in doing business with Ogden City!

Allowances & Specifications

Effective Date: February 2024

Project Address: 2321 Quincy Ave- LOT 1

These specifications are exclusively for the above-referenced proposed residences and in conjunction with the plans are contractual construction documents. All items specified or not specified herein shall meet or exceed the International Residential Code (IRC). OGDEN CITY shall reserve the right to change these specifications due to product availability. Contractor is responsible for pulling and paying for all permits related to construction of home including: Building Permits, SWPPP permits, Utility Permits, etc.

General Description of Improvements for each residence:

Average Square footage of living area: 1717

Average Square footage of unfinished basement 880

Square footage of garage: 484

Note: All square footage measurements are approximate and to be verified by Contractor

Permits & Fees

Please use the allowance of \$5,000 for permits and fees. This estimated amount will include impact fees, SWPPP, and Building Permit fees for the house. Contractor will only be reimbursed for actual permit fees. Contractor will not be able to draw remaining balance for other purposes.

If fees are greater than \$5,000, OGDEN CITY will accept change order compensating Contractor for actual permit fees.

Site Work

Utilities

Water	Ogden City
Sewer	Central Weber
Electric	Rocky Mountain
Gas	Dominion

New Water and sewer lateral stubs are back of city sidewalk for tie in. No street cuts necessary. Contractor is responsible for repairing and replacing any sidewalk etc. that are damaged due to the utility connection.

Contractor is also responsible for coordinating installation of gas and electric utility connections.

Contractor will need to California cut street gutter for drive approach. Obtain right of way permit from Ogden City and install drive approach per Ogden City specs. City sidewalk through drive approach will need to be removed and replaced with 6" thick per Ogden City Engineering specs.

Setback and Grading

- Setbacks per site plan.
- Grade as required for proper drainage (per site plan).
- Landscape –(see site plan)
Yards to be completely landscaped including front park strip.
- Fully automated sprinkler irrigation system.
- Cement curbing included in front yard flowerbeds (approx. 30 linear feet).

Basement

- ADU ready unfinished basement – Install all footings, foundations, window bucks, door bucks, and bearing walls per plan. Provide plumbing stubs for future Kitchen and bathroom. Provide basic electrical required by code with keyless lighting and adequate distribution panel for future basement expansion. All other interior basement improvements to be done by others.

Fencing

- Install new 6' high black chain link fencing per site plan.

Framing

Exterior and Interior Walls

- Constructed per plan
- Lap siding to be 8" LP Smart Side over 15# felt or comparable material.
- Exterior trim work to be "LP -Smart Siding" or comparable.
- Gable treatment to be James Hardie scalloped-style siding.
- Siding and trim paint colors to be selected and approved by OGDEN CITY CED prior to construction.

Rafter and Floor Joists

- Constructed per plan.

Porches

- Front Porch: Concrete cap per plan with concrete sealer. Porch cap to extend 3" past foundation.
- Back Porch: Wood framed platform and stair stringers completely covered in Trex decking materials or comparable product. Metal railing if required by code.



Thick Railing – 1.5”- 2.5” Rails

Cornice

- Constructed per plan

Windows

- Vinyl-framed, double pane with Low-E glass, sized per plan.
- Frame Color – Almond – (to be verified by Ogden city prior to ordering windows)
- ½ screens throughout (except for fixed glass windows).
- Garage will not have any windows.

Blinds

- Located in all windows (except bathroom windows).

Type:	Levelor (or Comparable)
Style:	2” Faux Wood (PVC)
Color:	White

Exterior Doors

- Front entrance door -- 3’0”x 6’8” Fiberglass – Therma Tru entry door- model #CCA260. Verify with Ogden City at time of ordering.
- Back entry door per plan -- 3’0”x 6’8” Fiberglass-two panel per spec sheet with half-light and blinds inside of glass.
- Garage man door -- 3’0”x 6’8” Steel two panel per spec sheet.
- Garage Door – 16’0”x 8’0” aluminum door per plan with auto opener.
- All exterior doors to come pre-hung with factory weather strip and threshold.

Insulation

- Exterior walls – R-19
- R-49 blown in flat ceilings areas where accessible.
- Polycel foam all windows, corners, plumbing or electrical penetrations. (per 2006 IRC)

Roofing

- Shingles --- Architectural/Dimensional shingle.
- Warranty --- 30-year Manufacturer’s Warranty.
- Color --- Weathered Wood

Soffit & Fascia

- Aluminum soffit all around. Use ventilated soffit at all eaves per code.
- Install aluminum gutters and downspouts on all drainage eaves.

Energy Requirements

Builder to follow prescriptive requirements from 2006 IEC, described in table below (5 and 4 Marine):

**Table 402.1.1
Insulation and Fenestration Requirements by Component^a**

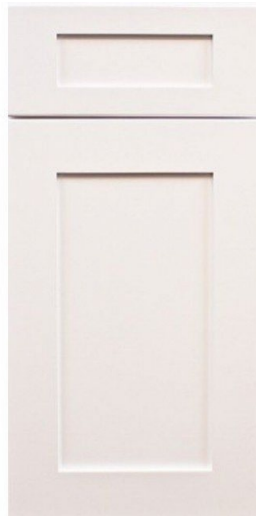


CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION ^{b,e} SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
1	1.20	0.75	0.30	30	13	3 / 4	13	0	0	0
2	0.65 ^j	0.75	0.30	30	13	4 / 6	13	0	0	0
3	0.50 ^j	0.65	0.30	30	13	5 / 8	19	5 / 13 ^f	0	5 / 13
4 except Marine	0.35	0.60	NR	38	13	5 / 10	19	10 / 13	10, 2ft	10 / 13
5 and Marine 4	0.35	0.60	NR	38	20 or 13+5 ^h	13 / 17	30 ^g	10 / 13	10, 2 ft	10 / 13
6	0.35	0.60	NR	49	19 or 13+5 ^h	15 / 19	30 ^g	15 / 19	10, 4 ft	10 / 13
7 and 8	0.35	0.60	NR	49	21	19 / 21	38 ^g	15 / 19	10, 4 ft	10 / 13

^a R-values are minimums, U-factors and SHGC are maximums, R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
^b The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
^c "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
^d R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
^e There are no SHGC requirements in the Marine Zone.
^f Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
^g Or insulation sufficient to fill the framing cavity, R-19 minimum.
^h "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
ⁱ The second R-value applies when more than half the insulation is on the interior of the mass wall.
^j For impact rated fenestration complying with Section R301.2.1.2 of the IRC or Section 1608.1.2 of the IBC, maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

Millwork

Cabinets - Please provide a bid for a paint grade poplar cabinet with a Shaker style door (see photo). Cabinets will have the following specs:



Kitchen	36" Base	36" uppers w/ crown molding.
Master Bath	36" Base	30" uppers (if req'd per plan)
Secondary Bath	48" Base	30" uppers (if req'd per plan)
Utility / Linen	per plan only	
All Cabinets	Pre-finished w/ picture frame doors	Colors selected by and approved by OGDEN CITY
Hardware	Knobs, pulls, and hinges	Satin

Interior Doors and Trim

Interior Doors	6'8" Hollow core 2 panel. Sized per plan.
Door Casing	3 1/4" MDF Square edge
Window Trim	3 1/4" MDF casing with window sill on all windows
Base Trim	4 1/4" MDF Square edge
Stair Wall	N/A
Shelving	Particle Board
Closet Rods	Alloy
Wainscott	NA



Door Style



Trim Style

HVAC

Equipment

- Energy Star rated equipment (HVAC)
- 90% efficient furnace or better, located in attic with filter change access in ceiling return air grill.
- AC
- Digital Thermostat
- Sizing, location, installation of unit, furnace, and registers as per load calculation and engineered HVAC design criteria – Must be able to provide required Manual J & D to pull building permit. All Manual J & D design fees required for permit must be included in bid.

Plumbing

Piping

- Waste and vent piping to be schedule 40 PVC.
- Includes (2) standard freeze-less hose bibs.
- Sewer line to be schedule 30 J.M. sewer pipe.

- Water Heater to be gas (1) 40 gallon.
- Washer connections to be in catch-a-drip box.
- Interior piping to be Rehau Everloc system, or equal.
- Washer Fiberglass Pan w/ Trap & Drain.
- Water line for refrigerator ice maker in water box.

Fixtures- Color - Satin

Kitchen Sink	8" deep stainless steel, double basin.
Kitchen Faucet	Moen Essie MotionSense Wave Mediterranean Satin One-Handle Pulldown Kitchen Faucet) or equal
Disposal	Insinkerator Badger I disposal 1/3 HP (or comparable)
Master bath Lavatory Faucets	Moen Brantford centerset – or comparable
Master Bath Shower	Moen Brantford (or comparable)
Master Bath Toilet	St. Thomas – white – round. (or comparable)
Secondary Bath Lav. Faucets	Moen Brantford centerset –or comparable
Secondary Bath Tubs	White porcelain on steel tub
Secondary Bath Tub/Shower	Moen Branford head, valve, wall faucet – or comparable
Secondary Bath Toilet	St. Thomas – white – round. (or comparable)
Bathroom Sinks	Oval, - White

Appliances

Range	30" Free standing LG Electric Range LREL6321S– Glass Top - Stainless
Microwave	Built in Over range – Stainless – LG LMV1683ST
Dishwasher	Built in – Stainless – LDF5545ST LG Built In Dishwasher w/ stainless tub

Electrical

Wiring

- House and Garage: Wire per plan and National Electrical Code, copper "Romex" type and aluminum feeders.

Fixtures

- Switch Type --- Toggle
- Switch/ Outlet Color --- White
- Ceiling Fans --- Master bedroom- (1) w/ satin finish and light kit
- Light Fixtures (\$1500 Allowance) --- fixtures selected by Ogden City.
- GFI outlets --- Installed per plan or per National Electrical Code.
- Garage Door Opener --- One Opener with (2) remotes
- Additional ceiling Fans --- NA

Telephone and TV cabling

Telephone	(2) Cat-5 (includes pre-wire and trim) Master bedroom and kitchen
T.V.	(4) RG-6 (includes pre-wire and trim) Family room and bedrooms

Flooring, Countertops, & Shower Walls

Countertops & Backsplash

Kitchen Tops	Granite- Bianca White
Vanity Tops	Granite-Bianca White
Utility Tops	Granite- Bianca White
Kitchen Backsplash	3"x6" white subway tile with Grey Grout

Shower / Tub Walls

- Cultured marble to be used at master and secondary tub/shower walls.

Flooring

- Laminate Flooring – Oceanside Waterproof Flooring- color to be San Becinto Range- Model# VSPC75B. 5.5mm, 7"x5'. Installed in Living Room, Kitchen, and Mud Room.
- Carpet Level II (25 oz. polyester frieze carpet) —color to be approved by OGDEN CITY prior to installation. Pad 3/8" rebond pad. Installed in all bedrooms, family room and stairs.
- Tile – Bathrooms, Laundry Room, Mechanical room.

Painting & Drywall

Exterior

- All trim to be caulked as necessary and painted to final finish.
- Two tone paint. See exterior color selection exhibit for colors.

Interior

- All walls to be 1/2" gypsum board-taped, floated and final floated – Smooth Finish. Green board or equal to be used in all tub/shower surrounds. All ceilings to be 1/2" sheetrock, 5/8" where required by code – Light Texture. Eggshell latex wall paint in all finished sheet-rock areas. Color to be selected and approved by OGDEN CITY prior to painting.
- Trim will be caulked & sanded. 2 coats of interior enamel paint. Two tone paint scheme throughout. See interior color selection exhibit for colors.

Mirrors and Shower Doors

Mirrors

- Bathroom mirrors to be 1/4" plate glass, sized per plan.

Shower Doors

- Master bath shower doors to be clear tempered glass, frame color to be Satin.

Hardware

Hardware

Type:	Schlage
Style:	Georgian
Color:	Satin
Hinges:	26 D – Satin
Bathroom accessories:	Delta Crestfield: One towel bar, towel ring, and paper holder per bath to match plumbing finish. Satin

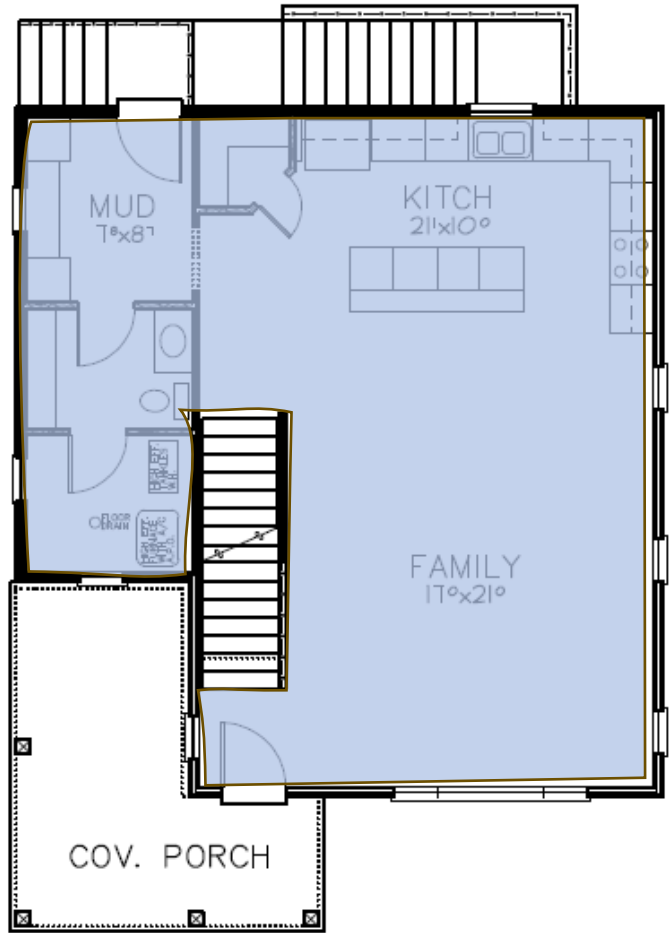
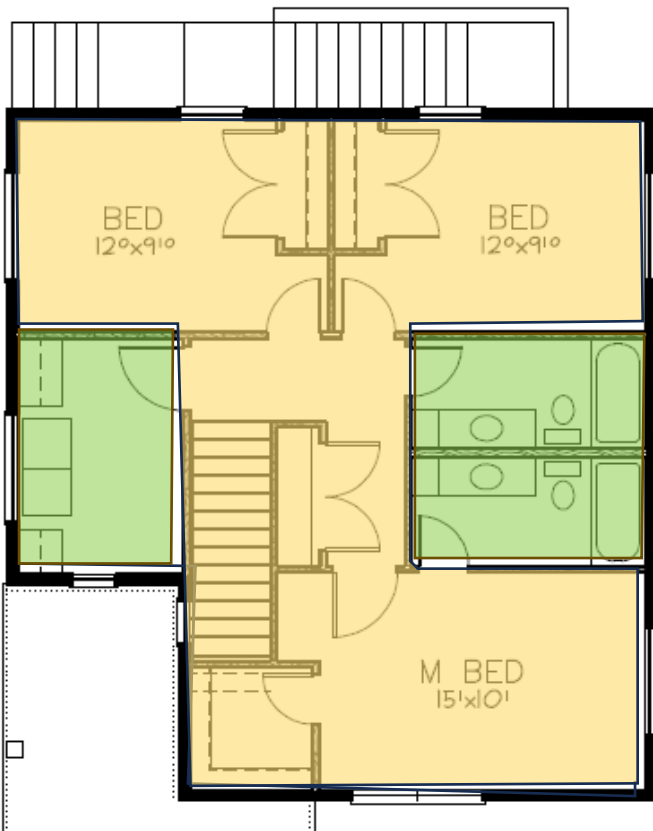
Concrete

- Provide all concrete per code to install driveway, pads, caps, stairs, and sidewalks per site plan.

Garage

- To be built per plan, with in kind materials as home.
- Gable end roof style with architectural shingles. Color to be Weatherwood to match home.
- Siding and trim materials to match home.
- Exterior colors to match home and approved by Ogden City.
- Electrical to include GFI circuits, lighting, and overhead garage door, per plan.
- Fire Rated Walls – Build per plan
- **No** drywall or insulation done on garage interior.

2321 Quincy
Flooring Exhibit



MAIN FLOOR AREA = 880 SQ. FT.



LVP Flooring

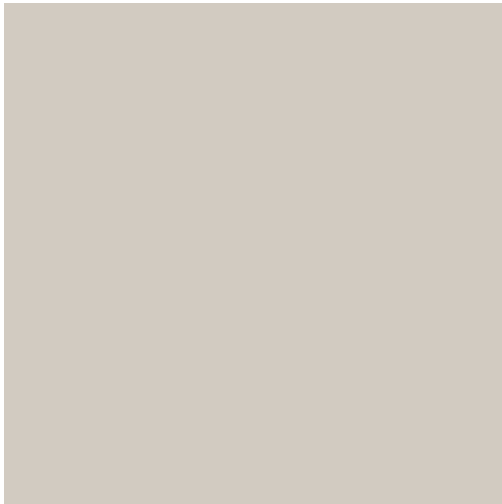


Tile



Carpet

2321 Quincy Interior Color Selects February 2024



Paint – Agreeable Grey Sherwin-Williams SW 7029
Base eggshell walls.



Paint -Trim – Satin Finish trim,



Bianca White Granite – Countertops



Carpet-Shaw - Well Timed
-Canoe



Tile – Soho – Madison 12x24



Oceanside Flooring
COLOR: San Becinto Range
Model VSPC7SB
W 7" X 5'. Thickness 5.5mm
TYPE: SPC

2321 Quincy Exterior Color Selects February 2024

Exterior Trim – Color Match – Ogden White
Fish Scale Gables, Bands, Fascia, Trim



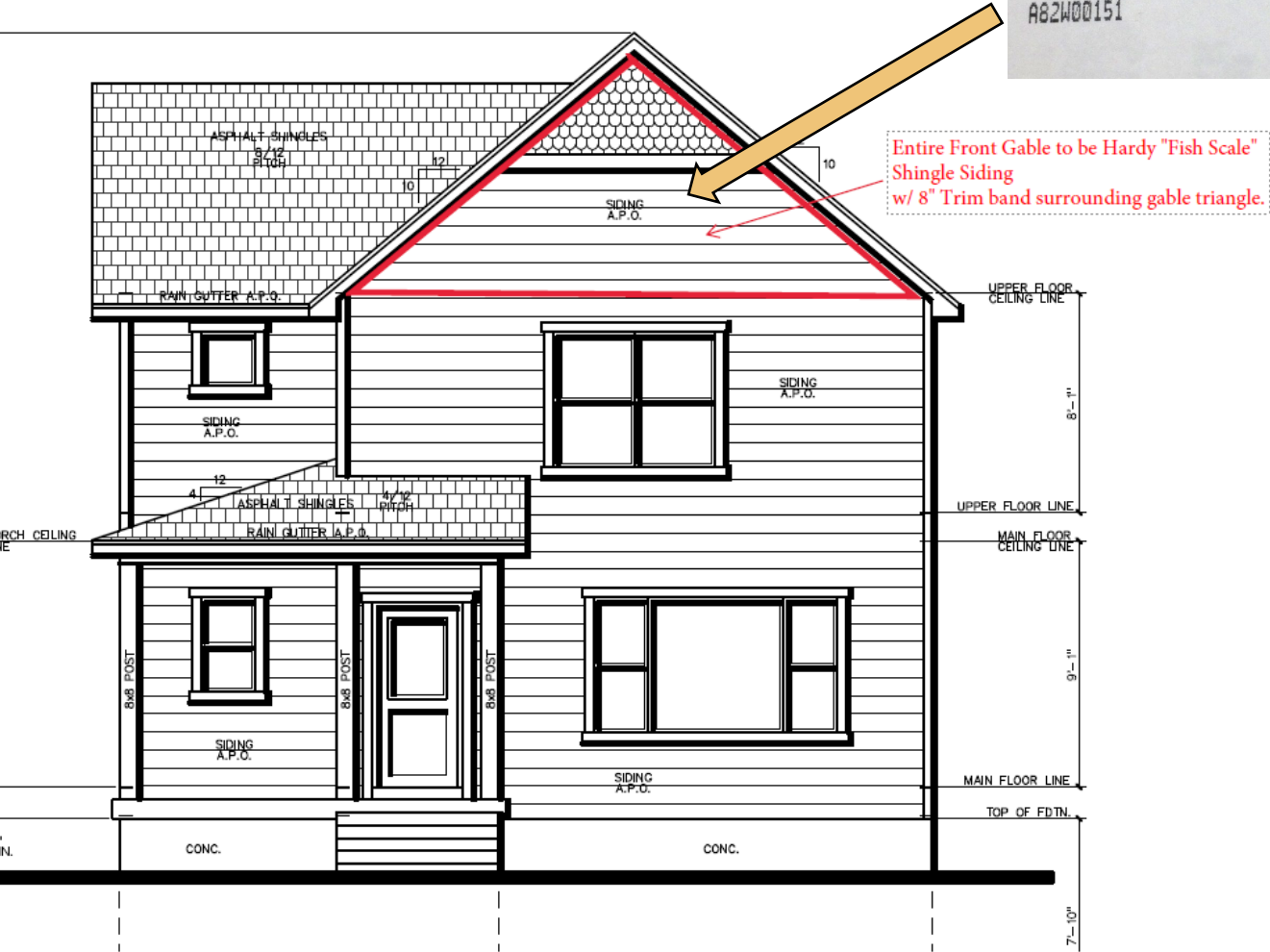
SHERWIN-WILLIAMS 8453 12/09/14
801-399-3369 Order# 0124492

EXTERIOR ARCHITECTURAL
A-100 LATEX
SATIN IFC 8112NP

MATCH WHITE
CUSTOM MANUAL MATCH

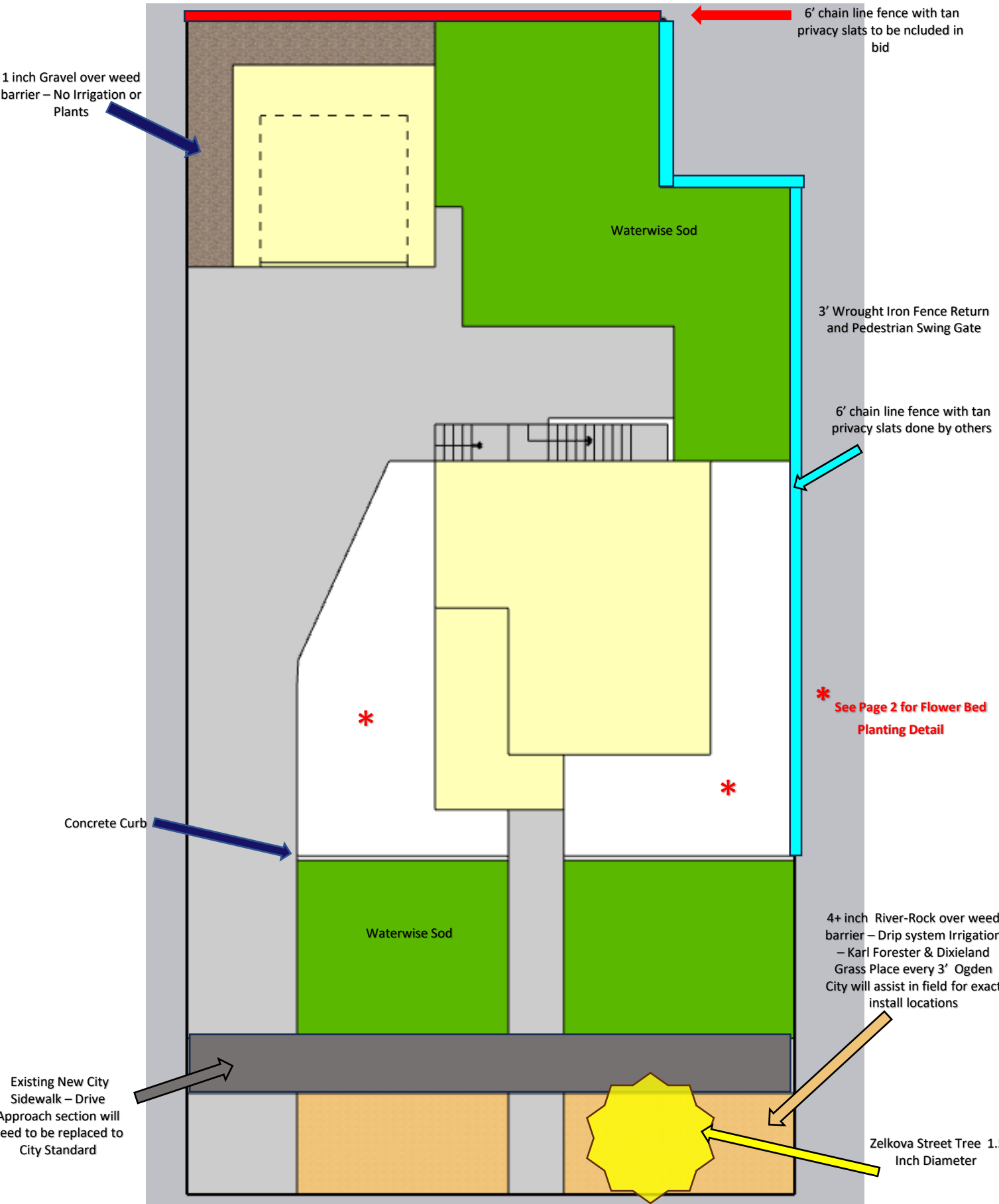
CCE*COLORANT	OZ	32	64	128
N1-Raw Umber	-	6	1	1
Y3-Deep Gold	-	4	-	1

ONE GALLON A62W00151 EXTRA WHITE 640389177



Sherwin Williams– Oakmoss SW
6180 – Exterior Lap Siding

2321 Quincy Landscaping Plan - Page 1 of 2



6' chain line fence with tan privacy slats to be included in bid

1 inch Gravel over weed barrier - No Irrigation or Plants

Waterwise Sod

3' Wrought Iron Fence Return and Pedestrian Swing Gate

6' chain line fence with tan privacy slats done by others

* See Page 2 for Flower Bed Planting Detail

Concrete Curb

Waterwise Sod

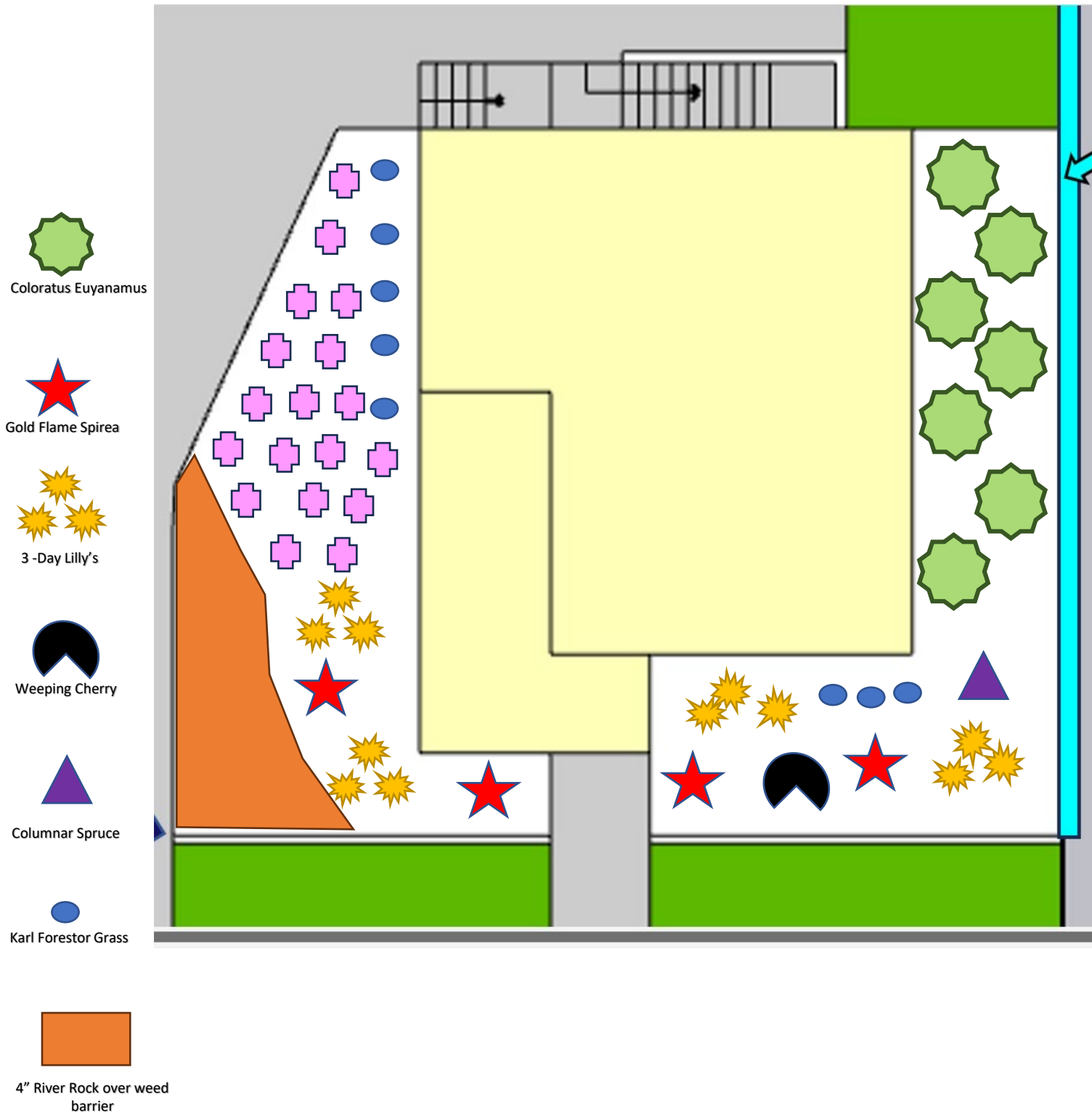
4+ inch River-Rock over weed barrier - Drip system Irrigation - Karl Forester & Dixieland Grass Place every 3' Ogden City will assist in field for exact install locations

Existing New City Sidewalk - Drive Approach section will need to be replaced to City Standard

Zelkova Street Tree 1.5 Inch Diameter

2321 Quincy Landscaping Plan

Page 2 of 2



~ Weed Barrier and 4" minimum Dark Mulch in all Flower bed surrounding House (Shown in White)

Drip Irrigation on all flowerbeds on side of House. Spray Irrigation can be used on all turf and front yard flower beds. Turf to be laid as sod – Waterwise blend suitable for active residential use

2321 Quincy Site Plan



~DRIVE APPROACH & CITY SIDEWALK TO BE INSTALLED PER OGDEN CITY STANDARD

~ALL WORK TO COMPLY WITH OGDEN CITY STANDARDS

~ALL DEFECTIVE CURB/GUTTER & SIDEWALK, ALONG PROPERTY, WILL BE REPLACED PER OGDEN CITY STANDARD

~ALL UTILITY TRENCHING DONE IN PUBLIC STREET TO BE COVERED BY A SINGLE ASPHALT PATCH THAT EXTENDS THE FULL WIDTH OF THE ROAD PER OGDEN CITY STANDARD

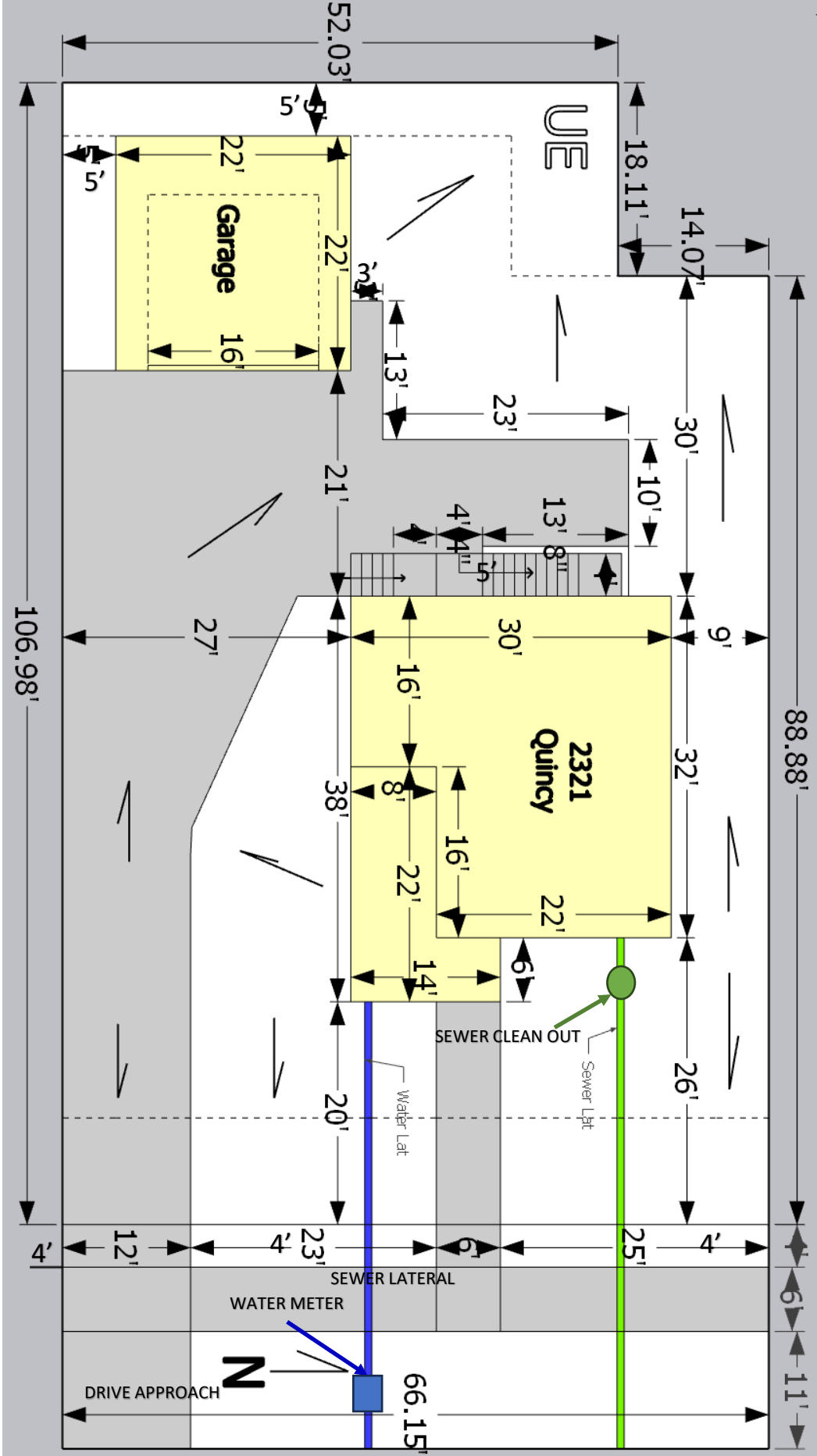
~SEWER & WATER LATERALS MUST MAINTAIN A MINIMUM 10' SEPERATION

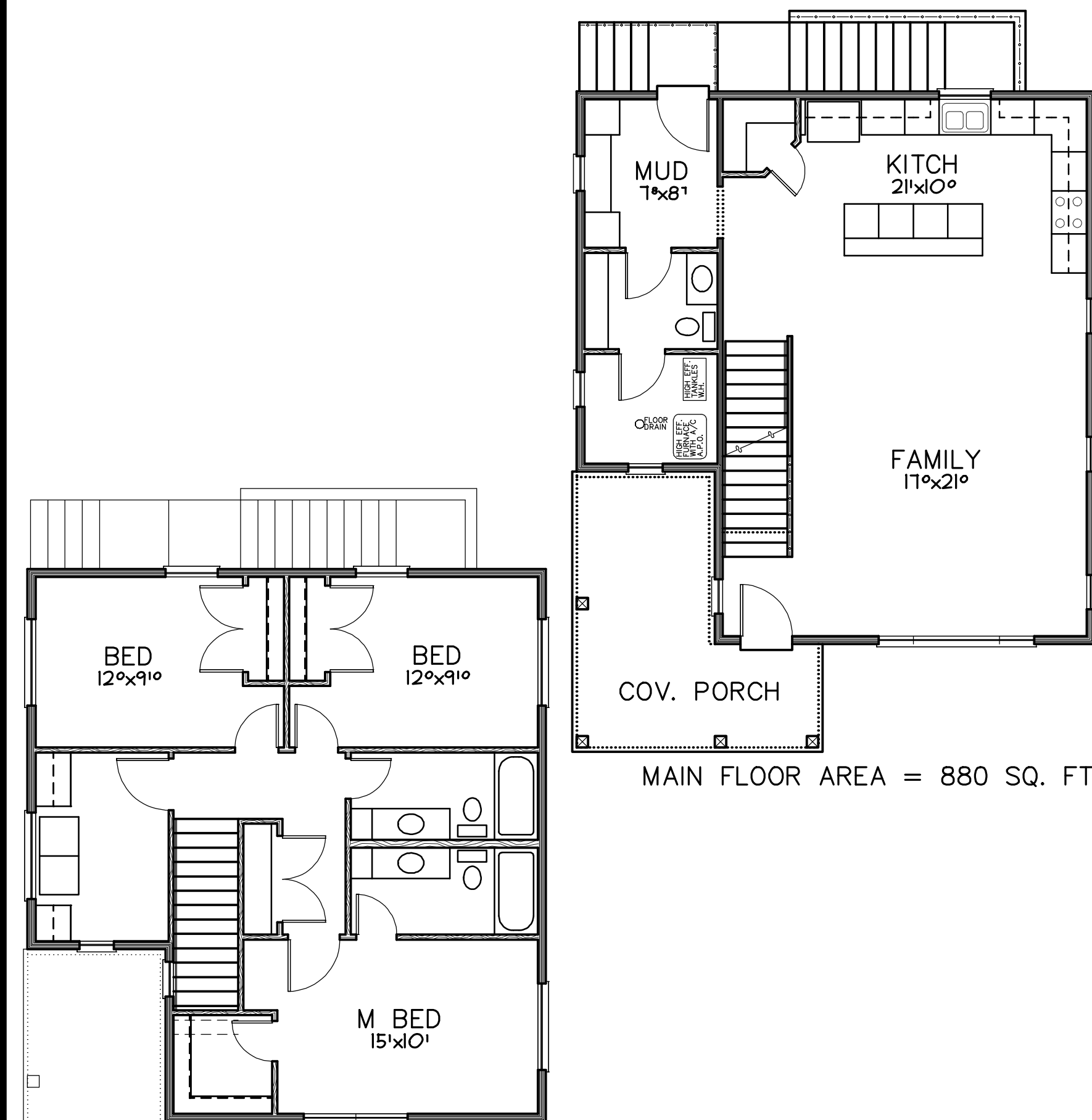
WATER UTILITY NOTES:

1. 3/4" WATER METER AND LATERAL FROM METER
2. AWWAC 901CTS POLY TUBING MATERIAL
3. TRACER WIRE ALONG LATERAL TO BE INCLUDED
4. WATER UTILITY WORK TO COMPLY WITH OGDEN CITY STANDARDS

SEWER UTILITY NOTES:

1. 4" SEWER LATERAL
2. PVC SDR-35, GREEN – MATERIAL
3. MINIMUM 2% SLOPE
4. SEE OGDEN CITY STANDARDS DETAIL





UPPER FLOOR AREA = 837 SQ. FT.

OPENING SIZE	ANGLE SIZE	COMMENTS
0'-0" TO 6'-11"	L3.1/2"x3.1/2"x1/4"	
7'-0" TO 8'-11"	L4"x3.1/2"x1/4"	
9'-0" TO 9'-11"	L5"x3.1/2"x1/4"	
10'-0" TO 18'-0"	L5"x3.1/2"x1/4"	CONNECT STEEL ANGLE TO LVL BEAM WITH 1/2" DIA. x 3" LAG SCREWS AT 16" O.C.

BRICK VENEER STEEL ANGLE LINTEL NOTES:
 1. ALL STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 1" PER FOOT OF OPENING OR 4" MINIMUM TYPICAL. MAXIMUM BEARING LENGTH NEED NOT EXCEED 12".
 2. LINTELS ARE DESIGNED TO SUPPORT UNIFORM LOADS CONSISTING ONLY OF WEIGHT OF WALL WITHIN A 90 DEGREE ISOSCELES TRIANGLE AREA ABOVE OPENING.
 3. ALL STEEL LINTELS ARE TO HAVE LONG LEG VERTICAL.
 4. ALL ANGLE LINTELS SHALL BE CORROSION RESISTANT.

MARK	SIMPSON HOLDOWN	ATTACHMENT	COMMENTS
LSTD08 OR LSTD08RJ	LSTD08 OR LSTD08RJ (RIM JOIST)	(20)-16d SINKER NAILS	STD10, STD14, HT4, OR HD4 MAY BE USED IN LIEU OF LSTD08
STD10 OR STD10RJ	STD10 OR STD10RJ (RIM JOIST)	(28)-16d SINKER NAILS	STD14, HT4, OR HD4 MAY BE USED IN LIEU OF STD10
STD14 OR STD14RJ	STD14 OR STD14RJ (RIM JOIST)	(30)-16d SINKER NAILS	HT4 OR HD4 MAY BE USED IN LIEU OF STD14
HT4	HT4	(18)-16d NAILS WITH 5/8" DIA. A307 ALL-THREAD EPOXYED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT
HD4	HD4-SDS2.5	(10)-SDS1/4x1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EPOXYED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT
HD5	HD5-SDS2.5	(14)-SDS1/4x1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EPOXYED 17" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT
HDQ8	HDQ8-SDS3	(20)-SDS1/4x3 SCREWS WITH 7/8" DIA. A307 ALL-THREAD ROD EPOXYED 17" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT

METAL HOLDOWN NOTES:
 1. ALL HOLDOWNS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 5 AND 9/54.2.
 2. USE RIM JOIST MODEL OF STRAP IF STRAP IS LOCATED AT A RIM JOIST, OTHERWISE, A NON-RIM JOIST MODEL MAY BE USED.

MARK	WIDTH	MAX. HEIGHT	VERTICAL	HORIZONTAL	COMMENTS
CFW3.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 18" O.C.	#4 AT 12" O.C.	SEE DETAIL 7 OR 11/54.1
CFW4.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 24" O.C.	#4 AT 12" O.C.	SEE DETAIL 7 OR 11/54.1
CFW6.0	8" MIN.	4'-0"	#4 AT 24" O.C.	#4 AT 15" O.C.	SEE DETAIL 6/54.1
CFW8.0	8" MIN.	8'-0"	#4 AT 24" O.C.	#4 AT 18" O.C.	SEE DETAIL 5/54.1
CFW9.0	8" MIN.	9'-0"	#4 AT 16" O.C.	#4 AT 18" O.C.	SEE DETAIL 5/54.1
CFW10.0	8" MIN.	10'-0"	#4 AT 9" O.C.	#4 AT 12" O.C.	SEE DETAIL 5/54.1

CONCRETE FOUNDATION WALL NOTES:
 1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
 2. WALL HEIGHT MAY BE INCREASED AS NOTED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS UNBALANCED WALL HEIGHT (HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED THAT SHOWN. ADD ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED SPACING SHOWN.
 3. USE REINFORCING BARS WITH THE MINIMUM WALL THICKNESS.
 4. PLACE VERTICAL REINFORCING ON INTERIOR SIDE OF HORIZONTAL REINFORCING.
 5. PLACE VERTICAL REINFORCING ON INTERIOR SIDE OF HORIZONTAL REINFORCING.
 6. PLACE NOTCHES AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR OPENINGS AND WHERE CONCRETE SLABS POUR OVER THE TOP OF FOUNDATION WALLS.
 7. SEE DRAWINGS FOR ACTUAL HEIGHT.
 8. SEE DRAWINGS FOR ACTUAL HEIGHT.
 9. SEE DRAWINGS FOR ACTUAL HEIGHT.
 10. SEE DRAWINGS FOR ACTUAL HEIGHT.
 11. SEE DRAWINGS FOR ACTUAL HEIGHT.
 12. SEE DRAWINGS FOR ACTUAL HEIGHT.

MARK	SIZE	COMMENT	MARK	SIZE	COMMENT
WB2-8DF	(2)-2x8 FOR 2x4 WALLS	USE FOR BEAM/HEADER SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE IN BEAM MARKS. CEILING HEIGHTS LESS THAN 7'-10" (FOR CEILING HEIGHTS GREATER THAN 7'-10" USE WB2-10DF) - SEE NOTE 4 BELOW - HEADERS MAY BE RECESSED INTO WALL TO CLEAR TOP PLATE AS REQUIRED FOR WINDOW HEIGHTS - SEE DETAIL 10/56.1	WB2-5.5LV	(2)-1.3/4"x5.1/2" LVL	
WB3-8DF	(3)-2x8 FOR 2x6 WALLS		WB2-7.25LV	(2)-1.3/4"x7.1/4" LVL	
WB2-10DF	(2)-2x10 FOR 2x4 WALLS	USE FOR BEAM/HEADER SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE - SEE NOTE 4 BELOW	WB2-9.5LV	(2)-1.3/4"x9.1/2" LVL	
WB3-10DF	(3)-2x10 FOR 2x6 WALLS		WB2-11.88LV	(2)-1.3/4"x11.7/8" LVL	
WB2-8DF	(2)-2x8 DF#2	WB2-5.5LV MAY BE USED AS ALTERNATE	WB2-18LV	(2)-1.3/4"x18" LVL	
WB2-8DF	(2)-2x8 DF#2	WB2-7.25LV MAY BE USED AS ALTERNATE	WB3-5.5LV	(3)-1.3/4"x5.1/2" LVL	
WB2-10DF	(2)-2x10 DF#2	WB2-7.25LV MAY BE USED AS ALTERNATE	WB3-7.25LV	(3)-1.3/4"x7.1/4" LVL	
WB2-12DF	(2)-2x12 DF#2	WB2-9.5LV MAY BE USED AS ALTERNATE	WB3-9.5LV	(3)-1.3/4"x9.1/2" LVL	
WB3-8DF	(3)-2x8 DF#2	WB3-5.5LV MAY BE USED AS ALTERNATE	WB3-11.88LV	(3)-1.3/4"x11.7/8" LVL	
WB3-8DF	(3)-2x8 DF#2	WB3-7.25LV MAY BE USED AS ALTERNATE	WB3-14LV	(3)-1.3/4"x14" LVL	
WB3-10DF	(3)-2x10 DF#2	WB3-7.25LV MAY BE USED AS ALTERNATE	WB3-18LV	(3)-1.3/4"x18" LVL	
WB3-12DF	(3)-2x12 DF#2	WB3-9.5LV MAY BE USED AS ALTERNATE	WB3-18LV	(3)-1.3/4"x18" LVL	

WOOD BEAM NOTES:
 1. BEAM MARKS WITH "DF" DESIGNATES THE USE OF DOUGLAS FIR-LARCH NO. 2 OR BETTER STANDARD LUMBER. BEAM MARKS WITH "LVL" DESIGNATES THE USE OF ENGINEERED LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 2600 psi, E = 285 psi, F_v = 750 psi, E = 1.9x10⁶ psi.
 2. "DF" BEAM SIZES SHOWN ARE NOMINAL AND HAVE SMALLER ACTUAL BEAM DIMENSIONS AS BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO CREATE A BEAM.
 3. MULTIPLE MEMBER BEAMS/HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 IN. OR LESS USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
 4. CONTACT THE ENGINEER FOR BEAM/HEADER SIZES WITH SPANS GREATER THAN 5'-2" THAT ARE NOT NOTED ON THE DRAWINGS.
 5. "FLUSH", WHEN NOTED ON PLANS, INDICATES TO PLACE THE BEAM SO THAT THE TOP AND/OR BOTTOM OF THE BEAM IS FLUSH WITH THE SUPPORTED FRAMING.
 6. DO NOT USE LVL BEAMS WHERE THEY MAY BE EXPOSED TO WEATHER (E.G. DECK FRAMING).

WALL MARK	PANEL MATERIAL	SIDES	PANEL ATTACHMENT	EDGE NAILING	FIELD NAILING	ANCHOR BOLT / FASTENER	WALL ANCHORAGE	COMMENTS
SW1	1/2" GYPSUM WALLBOARD	BOTH SIDES	BLOCKED NO. 6x1.1/4" SCREWS	4" O.C.	16d NAILS	4" O.C.	16d NAILS	USE SW4 AS ALTERNATE
SW2	7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	4" O.C.	12" O.C.	5/8" x12" A.B. RESIDENTIAL	SEE NOTE 8 BELOW
SW3	7/16" OSB SHEATHING	BOTH SIDES	BLOCKED	8d NAILS	4" O.C.	12" O.C.	1/2" x10" A.B. RESIDENTIAL	SEE NOTE 8 & 11 BELOW
SW4	3/8" OR 7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	6" O.C.	12" O.C.	RESIDENTIAL	SEE NOTE 8 BELOW
SW5	7/16" OSB SHEATHING U.N.O.	BOTH SIDES	BLOCKED	8d NAILS			SEE DETAIL 5/55.2	SEE NOTE 8 BELOW

SHEAR WALL NOTES:
 1. BEAM MARKS WITH "DF" DESIGNATES THE USE OF DOUGLAS FIR-LARCH NO. 2 OR BETTER STANDARD LUMBER. BEAM MARKS WITH "LVL" DESIGNATES THE USE OF ENGINEERED LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 2600 psi, E = 285 psi, F_v = 750 psi, E = 1.9x10⁶ psi.
 2. "DF" BEAM SIZES SHOWN ARE NOMINAL AND HAVE SMALLER ACTUAL BEAM DIMENSIONS AS BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO CREATE A BEAM.
 3. MULTIPLE MEMBER BEAMS/HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 IN. OR LESS USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
 4. CONTACT THE ENGINEER FOR BEAM/HEADER SIZES WITH SPANS GREATER THAN 5'-2" THAT ARE NOT NOTED ON THE DRAWINGS.
 5. "FLUSH", WHEN NOTED ON PLANS, INDICATES TO PLACE THE BEAM SO THAT THE TOP AND/OR BOTTOM OF THE BEAM IS FLUSH WITH THE SUPPORTED FRAMING.
 6. DO NOT USE LVL BEAMS WHERE THEY MAY BE EXPOSED TO WEATHER (E.G. DECK FRAMING).

MARK	WIDTH	LENGTH	THICK.	CROSSWISE REINFORCING	LENGTHWISE REINFORCING
FC1.5	1'-6"	CONT.	10"	N/A	N/A
FC1.7	1'-8"	CONT.	10"	N/A	N/A
FC2.0	2'-0"	CONT.	12"	N/A	N/A
FC2.5	2'-6"	CONT.	12"	#4	2'-0" 12"
FC3.0	3'-0"	CONT.	12"	#4	2'-6" 12"
FC3.5	3'-6"	CONT.	12"	#4	3'-0" 12"
FS2.0	2'-0"	2'-0"	12"	3	#4 1'-6" 9"
FS2.5	2'-6"	2'-6"	12"	4	#4 2'-0" 8"
FS3.0	3'-0"	3'-0"	12"	5	#4 2'-6" 7.5"
FS3.5	3'-6"	3'-6"	12"	5	#4 3'-0" 9"
FS4.0	4'-0"	4'-0"	12"	6	#4 3'-6" 8.4"
FS4.5	4'-6"	4'-6"	12"	7	#4 4'-0" 8"
FS5.0	5'-0"	5'-0"	14"	8	#4 4'-6" 7.7"

CONCRETE FOOTING NOTES:
 1. PLACE ALL FOOTING REINFORCING IN BOTTOM OF FOOTING WITH 3" CLEAR CONCRETE COVER UNLESS NOTED OTHERWISE.
 2. ALSO PROVIDE SCHEDULED REINFORCING AT TOP OF FOOTING WHEN NOTED ON PLANS.
 3. FC - CONTINUOUS FOOTING; FS - SQUARE FOOTING

METAL CONNECTOR NOTES:
 1. USE 1/2" LONG NAILS WHEN INSTALLED IN 1/2" WOOD THICKNESS. OTHERWISE USE FULL LENGTH NAILS.
 2. STRAP MAY REQUIRE BEING INSTALLED PRIOR TO INSTALLATION OF WALL SHEATHING AND/OR ADJACENT FRAMING, AND/OR SETTING TRUSSES. COORDINATE AS NECESSARY.

GENERAL STRUCTURAL NOTES

- CONCRETE, FOOTINGS, AND FOUNDATIONS:
 - SOIL BEARING PRESSURE IS ASSUMED TO BE AT LEAST 1500 PSF BY OWNER. NOTIFY THE ENGINEER IF THE SOIL BEARING PRESSURE IS FOUND TO BE LESS THAN 1500 PSF.
 - ALL FOOTINGS SHALL BE ESTABLISHED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. ALL EXTERIOR FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 30", OR THE LOCAL FROST DEPTH, WHICHEVER IS GREATER, BELOW FINISHED GRADE.
 - THE NATURAL UNDISTURBED SOIL BELOW ALL FOOTINGS SHALL BE VERIFIED FOR BEARING SUITABILITY. REMOVE ALL SOFT SPOTS AND REPLACE WITH COMPACTED STRUCTURAL FILL.
 - COMPACTED STRUCTURAL FILL: ALL FILL MATERIAL SHALL BE A WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM SIZE LESS THAN 4 INCHES AND WITH NOT MORE THAN 10 PERCENT PASSING A NO. 200 SIEVE. IT SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557. ALL FILLS SHALL BE TESTED. COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS.
 - ALL CONCRETE SLABS SHALL BE PLACED OVER 4" MINIMUM FREE DRAINING GRANULAR BASE OVER UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
 - SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOISTS AS PER DETAILS.
 - THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS AND FOUNDATIONS SHALL BE 2500 psi FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 3000 psi FOR RESIDENTIAL STRUCTURES. USE 4000 psi FOR SUSPENDED SLABS AND ALL OTHER CONCRETE.
 - REINFORCEMENT STEEL SHALL BE GRADE 60 (F_y = 60 KSI).
 - SUSPENDED SLABS AND ANY SUPPORTING STEEL BEAMS SHALL BE APPROPRIATELY FULLY SHORED 14 DAYS MINIMUM.
 - AT CONTRACTOR'S AND/OR OWNER'S OPTION USE EPOXY COATED REBAR IN SUSPENDED SLABS FOR EXTENDED SLAB LIFE.
 - EPOXY BOLTS SHALL BE ALL-THREAD GRADE A307 MIN. SMOOTH SHANK OR EXPANSION BOLTS (WASHERS AND NUTS) SHALL NOT BE USED.
 - REINFORCEMENT STEEL SHALL MEET THE FOLLOWING CONCRETE COVER REQUIREMENTS:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ----- 3"
 - FORMED CONCRETE EXPOSED TO EARTH OR WEATHER ----- 1 1/2"
 - FORMED CONCRETE NOT EXPOSED TO EARTH OR WEATHER ----- 3/4"
 - REINFORCEMENT STEEL SHALL HAVE THE FOLLOWING MINIMUM LAP SPLICE LENGTHS, UNLESS NOTED OTHERWISE ON DRAWINGS:
 - 30 BAR DIA. FOR #8 AND #4 BARS
 - 30 BAR DIA. FOR #6 THROUGH #8 BARS
 - FOR ALL OPENINGS LESS THAN 6'-6" IN CONCRETE FOUNDATION WALLS, PROVIDE A 10" DEEP CONCRETE HEADER WITH (2) #4 BARS MINIMUM UNLESS NOTED OTHERWISE. EXTEND BARS 24" MINIMUM BEYOND EDGE OF THE OPENINGS AND PLACE BARS ABOVE TOP OF OPENING. CONTACT THE ENGINEER FOR REINFORCING OF OPENINGS GREATER THAN 6'-6" IF NOT NOTED ON PLANS.
 - FOUNDATION ANCHOR BOLTS SHALL BE 5/8" DIA. x12" MIN. FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 1/2" DIA. x10" MIN. FOR RESIDENTIAL STRUCTURES. UNLESS NOTED OTHERWISE, ANCHOR BOLTS SHALL BE 32" O.C. MAX. WITH ONE LOCATED AT LEAST WITHIN 4" TO 12" OF EACH END OF WALL. PLATE SHALL BE 3/8" THICK FOR MORE STRINGENT ANCHOR BOLT REQUIREMENTS AT SPECIFIC SHEAR WALLS.
 - PROVIDE 7" MIN. EMBEDMENT INTO CONCRETE.
 - USE 0.229"x3"x3" PLATE WASHERS AT BOLTS FOR PLATE ANCHORAGE.
 - EPOXY BOLTS MAY BE USED IN LIEU OF ANCHOR BOLTS (SEE DETAIL 3/54.2).
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR SOIL SHALL CONSIST OF TREATED WOOD. UNLESS NOTED OTHERWISE, TREATED WOOD SHALL MEET THE CODE REQUIREMENTS. FASTENERS INTO TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

II. WOOD FRAMING:

- MATERIALS:
 - GLU-LAM TIMBER: 24F-V4 DF/DF
 - FRAMING LUMBER: DOUGLAS FIR-LARCH NO. 2 OR BETTER
 - SHEATHING: APA RATED (INT. GRADE WITH EXT. GLUE) AS FOLLOWS WITH THE FOLLOWING REQUIREMENTS, U.N.O. (PLACE ROOF AND FLOOR SHEATHING IN STAGGERED LAYOUT).
 - ROOF: 5/8" THICK OSB PANELS WITH A 32/16 SPAN RATING (7/16" THICK PANELS WITH 24/16 SPAN RATING MAY BE USED FOR RESIDENTIAL BUILDINGS WITH SNOW LOADS NOT MORE THAN 40 PSF). FOR ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES. BLOCKING, TRUSS ROD STRUTS, AND GABLE END WALLS/TRUSSES AND 2x4 BRACES SHALL BE USED AT ALL INTERMEDIATE SUPPORTS. LONG DIMENSIONS PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS. (8d NAILS MAY BE USED WITH 7/16" PANELS).
 - FLOOR: 3/4" THICK TONGUE AND GROOVE OSB PANELS, GLUE AND NAIL ALL SUPPORTING FRAMING MEMBERS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES AND BLOCKING, AND AT 10" O.C. AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSIONS PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS.
 - WALLS: 7/16" THICK OSB PANELS UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE. NAIL ALL PANELS WITH 8d COMMON NAILS AT 4" O.C. AT ALL EDGES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - 16 GAGE STAPLES WITH 7/16" MIN. CROWN WIDTH AND 1" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR NAILS.
- PROVIDE SUPPORT STUDS AT THE ENDS OF ALL BEAMS, HEADERS, AND GIRDER TRUSSES AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - SPANS LESS THAN 5'-0": 1 SUPPORT STUD MINIMUM. SPANS 5'-0" TO 10'-0": 2 SUPPORT STUDS MINIMUM. SPANS 10'-0" TO 14'-0": 3 SUPPORT STUDS MINIMUM. SPANS GREATER THAN 14'-0": 4 SUPPORT STUDS MINIMUM.
 - ADDITIONALLY, SUPPORT STUDS SHALL AT LEAST MATCH THE WIDTH OF THE BEAM, HEADER, AND GIRDER TRUSS AND THE WIDTH OF THE SUPPORTING WALL.
- FOR SPANS OF 8'-0" AND GREATER, AT EXTERIOR WALLS, PROVIDE A MINIMUM OF FULL HEIGHT KING STUDS TOP PLATE BOTTOM PLATE AT THE ENDS OF ALL BEAMS, UNLESS NOTED OTHERWISE. FOR SPANS LESS THAN 8'-0", PROVIDE A MINIMUM OF 1 FULL HEIGHT KING STUD.
- USE APPROPRIATE SIMPSON POST CAPS / TIES TO CONNECT BEAMS TO POSTS / STUDS FOR SPANS OF 8'-0" AND GREATER.
- ALL WOOD POSTS SHALL HAVE APPROPRIATE SIMPSON POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 90 POUNDS UPSET. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONCRETE OR FOOTINGS SEE DETAILS 9/54.1, 10/54.1 AND 9/54.2 FOR ADDITIONAL INFORMATION.
- USE APPROPRIATE SIMPSON HANGERS WHERE JOISTS AND BEAMS NEED TO HANG FROM SUPPORTING BEAMS. USE TOP FLANGE HANGERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS, AS PER DETAIL 10/55.2.
- ALL METAL CONNECTORS, STRAPS, HOLDOWNS, HANGERS, ETC. CALLED OUT ON THE DRAWINGS SHALL BE INSTALLED WITH APPROPRIATE SIZES OF BOLTS, ATTACHMENTS, ETC. AS PER THE MANUFACTURER'S RECOMMENDATIONS.

WALL LEGEND AND ABBREVIATIONS

SYMBOL ABBREVIATION	DESCRIPTION	SYMBOL ABBREVIATION	DESCRIPTION
A.B.	"ANCHOR BOLT"	-----	PREFAB STONE
ABV.	"ABOVE"	-----	BRICK/NATURAL STONE
A.P.O.	"AS PER OWNER"	-----	NOTCH IN TOP OF FDN. WALL
BL.W.	"BELOW"	-----	CONC. FDN. WALL
BRG.	"BEARING"	-----	CONC. FOOTING
C.J.	"CONTROL/CONSTRUCTION JOINT"	-----	STEPPED FOOTING
CONC.	"CONCRETE"	-----	2x6 BEARING WALL
CONCT.	"CONTINUOUS"	-----	2x4 BEARING WALL
DET.	"DETAIL"	-----	2x4 NON-BEARING WALL
EA.	"EAVE"	-----	2x6 NON-BEARING SHEAR WALL
FDTN.	"FOUNDATION"	-----	2x4 NON-BEARING WALL
FTG.	"FOOTING"	-----	2x6 NON-BEARING SHEAR WALL
G.L.B.	"GLU-LAM BEAM"	-----	2x4 NON-BEARING SHEAR WALL
MAX.	"MAXIMUM"	-----	HEADER/BEAM
MIN.	"MINIMUM"	-----	6x6 POST
O.C.	"ON CENTER"	-----	6x4 POST
OPP.	"OPPOSITE"	-----	
SIM.	"SIMILAR"	-----	
TYP.	"TYPICAL"	-----	
U.N.O.	"UNLESS NOTED OTHERWISE"	-----	

- BEARING AND EXTERIOR WALLS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 INCHES OR LESS. USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 INCHES. 4-PLY MEMBER BEAMS SHALL HAVE 2 ROWS OF 12" DIA. THROUGH BOLTS WITH WASHERS AT 12" O.C. IN ADDITION TO THE NAILING SPECIFIED ABOVE.
 - BEARING AND EXTERIOR WALLS SHALL BE CAPPED WITH DOUBLE TOP PLATES. END JOINTS OF SPLICES IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48" O.C. AND NAILED WITH 16d NAILS AT 4" O.C. WITHIN THE OVERLAPPED LENGTH. OVERLAP THE PLATES AT CORNERS AND AT INTERSECTIONS.
 - EXTERIOR WALLS SHALL HAVE SHEATHING PROVIDED AND NAILED AS PER THE SHEAR WALL SCHEDULE AND GENERAL NOTES TO FUNCTION AS SHEAR OR BRACED WALLS.
 - ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
 - ATTACH ALL ROOF TRUSSES AND RAFTERS TO ALL BEARING WALLS AND BEAMS WITH SIMPSON H1 ANCHORS, UNLESS NOTED OTHERWISE. PROVIDE SOLID BLOCKING BETWEEN TRUSSES.
 - UNLESS NOTED OTHERWISE ON DRAWINGS, NAILING OF ALL STRUCTURAL MEMBERS SHALL COMPLY WITH TABLES R602.3(1) TO R602.3(5).
- III. PRE-FABRICATED WOOD TRUSSES:**
- THE TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE TRUSSES. THE TRUSSES SHALL BE DESIGNED TO MEET THE MINIMUM LOAD AND CODE REQUIREMENTS FOR THE GIVEN LOCALITY OF CONSTRUCTION AND SHALL BE APPROVED BY A LICENSED ENGINEER.
 - IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
 - THE DESIGN AND BEARING OF TRUSSES SHALL BE COORDINATED WITH THE DRAWINGS. SHEAR WALL LEGEND ON DRAWINGS AND OTHER NOTES ON DRAWINGS FOR BEARING WALLS. DO NOT DESIGN TRUSSES TO BEAR ON NON-BEARING WALLS.
 - TRUSSES THAT EXTEND OVER EXTERIOR BEARING WALLS TO COVER A PORCH, PATIO, OR DECK SHALL BE DESIGNED TO BEAR ON THE EXTERIOR BEARING WALLS TO TRANSFER LOAD AWAY FROM THE PORCH, PATIO, OR DECK BEAMS, UNLESS NOTED OTHERWISE.
 - AT ROOF OVERBUILD AREAS PROVIDE OVERBUILD TRUSSES AS PER TRUSS MANUFACTURER OR STICK FRAME AS PER DETAIL 6/56.2
 - TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.
 - SHOP DRAWING SUBMITTAL: CONTRACTOR SHALL SUBMIT COMPLETE CALCULATIONS AND SHOP DRAWINGS SHOWING PROPOSED TRUSS LAYOUT AND DESIGN TO BE REVIEWED BY THE ENGINEER BEFORE FABRICATION. THE REVIEW PERFORMED BY THE ENGINEER SHALL BE FOR GENERAL CONFORMANCE WITH THE DRAWINGS. ONLY CORRECTIONS OR COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE PLANS OR OF THE TRUSS MANUFACTURER'S SPECIFICATIONS. ALSO, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY PROPOSED DEVIATIONS FROM THE DESIGN CONCEPT SHOWN IN THESE PLANS.

IV. STRUCTURAL STEEL:

- MATERIALS:
 - WIDE FLANGE SECTIONS: ASTM A572 (50 ksi)
 - TUBES: ASTM A500 (46 ksi)
 - PIPE COLUMNS: ASTM A53 TYPES E OR S, GRADE B
 - ANGLE: ASTM A36
 - DEFORMED BAR ANCHORS (DBA): ASTM A496
 - HEADED STUD ANCHORS (HSA): ASTM A108
 - WELDED CONNECTIONS: ASTM A325
 - ANCHOR BOLTS: ASTM A307
- FABRICATION AND CONSTRUCTION SHALL COMPLY WITH THE LATEST IBC AND AISC CODES.

V. BRICK VENEER:

- BRICK VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES. WHERE VENEER IS ANCHORED THROUGH THE USE OF CORRUGATED SHEET METAL TIES, THE TIES SHALL BE NO. 22 U.S. GAGE BY 7/8" MINIMUM ANCHOR WITH 1/2" MINIMUM EMBEDMENT INTO THE VENEER. THE TIES SHALL BE ANCHORED TO THE SUPPORTING WALL SHALL BE A MAXIMUM OF 1 INCH. WHERE THE VENEER IS ANCHORED THROUGH THE USE OF METAL TIES, THE TIES SHALL BE NO. 9 U.S. GAGE WIRE MINIMUM AND THE DISTANCE SEPARATING THE VENEER FROM THE FACE OF THE SUPPORTING WALL SHALL BE A MAXIMUM OF 4.5 INCHES. TIES SHALL BE SPACED SO THE INDIVIDUAL TIES ARE NOT MORE THAN 24 INCHES APART OF VENEER AREA AND SHALL NOT BE SPACED MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY.
- SEE THE BRICK VENEER STEEL ANGLE Lintel SCHEDULE FOR BRICK SUPPORT OVER WALL OPENINGS.
- PROVIDE FOR BRICK OR STONE VENEER INSTALLATIONS AT THE FOUNDATION CORROSION RESISTANT FLASHING EXTENDING UP A MINIMUM OF 3 COURSES WITH 3/16" WEEP HOLES EVERY 33" O.C. AND SUCH FLASHING MUST EXTEND 1/2" BEYOND THE FOUNDATION. THIS FLASHING IS REQUIRED WHERE STUCCO WEEP SCREWS DO NOT EXTEND PAST FOUNDATIONS. FLASHING WHICH DO NOT EXTEND BEYOND OR BELOW FOUNDATION WILL NOT BE ACCEPTABLE. (ICE & WATER SHEET OR SIMILAR MATERIALS).

VI. SPECIAL NOTES:

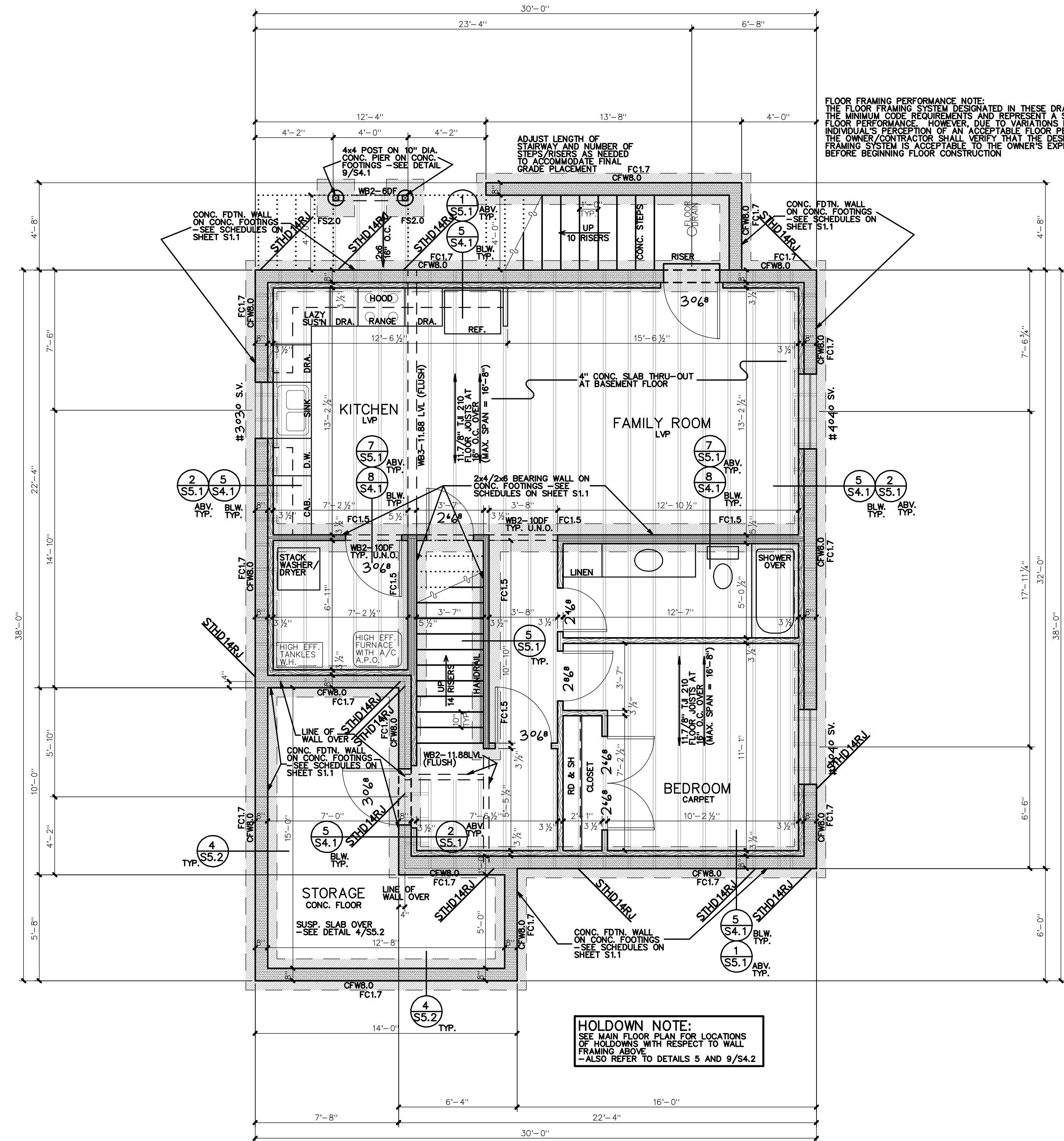
- ALL WORK IS TO BE CONSISTENT WITH BEST BUILDING PRACTICES AND CONFORM TO LOCAL BUILDING CODES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION.
- THE OWNER AND ALL CONTRACTORS INVOLVED WITH THE PROJECT SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL OMISSIONS OR CONFLICTS, INCLUDING DIMENSIONS, BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS, DETAILS, AND/OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN CASE OF CONFLICT, FOLLOW THE MOST STRINGENT REQUIREMENT SHOWN.
- COPYRIGHT NOTICE: THESE DRAWINGS, PLANS, DETAILS, SCHEDULES, AND NOTES ARE THE PROPERTY OF THE DESIGNER AND ENGINEER. ALL RIGHTS ARE RESERVED. THESE DOCUMENTS SHALL NOT BE REPRODUCED, OR COPIED, IN WHOLE OR IN PART.

VII. ADDITIONS AND REMODELS:

- CONTRACT

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION INFORMATION. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FS3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 1/54.1 AND 4/54.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/54.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLD-DOWNS: SEE THE METAL HOLD-DOWN SCHEDULE ON SHEET S1.1 AND DETAILS 2/54.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLD-DOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST FOR MISSED OR MISPLACED HOLD-DOWNS. USE AN ALTERNATE HOLD-DOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLD-DOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/54.1 AND 2/54.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE AREAS ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF-SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/55.2.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/55.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING TO A DEPTH OF 1/4 THE THICKNESS OF SLAB. DISCONTINUOUS CONTROL JOINTS OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2) #4 x 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3/1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- EXTERIOR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE TO HELP RESIST SEISMIC/WIND FORCES. ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN WALLS SCHEDULES ON SHEETS S4.1 THRU S6.3, U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S5.1 THRU S5.2, U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED AT BEARING POINTS. METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/S5.1, WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENTS A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 800 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 1" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/54.1, 10/54.1, AND 8/54.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON M248 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/54.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3, U.N.O. ROOF OVERBUILD AREAS SHALL PROVIDE OVERBUILD TRUSSES OR STICK FRAMING AS SHOWN IN DETAIL 6/56.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



HOLD-DOWN NOTE:
SEE MAIN FLOOR PLAN FOR LOCATIONS OF HOLD-DOWNS WITH RESPECT TO WALL FRAMING ABOVE - ALSO REFER TO DETAILS 5 AND 9/S4.2

CONSTRUCTION COST NOTE:
THE BUILDING DESIGN SHOWN IN THESE PLANS IS BASED ON THE BUILDING DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE HOME DESIGN SHOWN. THE HOME DESIGN IS REFLECTIVE OF THE HOME DESIGN SHOWN. THE HOME DESIGN IS REFLECTIVE OF THE HOME DESIGN SHOWN. THE HOME DESIGN IS REFLECTIVE OF THE HOME DESIGN SHOWN.

SITE AND LOT NOTE:
THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE HOME DESIGN SHOWN. THE HOME DESIGN IS REFLECTIVE OF THE HOME DESIGN SHOWN. THE HOME DESIGN IS REFLECTIVE OF THE HOME DESIGN SHOWN. THE HOME DESIGN IS REFLECTIVE OF THE HOME DESIGN SHOWN.

**BASEMENT/
FOUNDATION PLAN**
SCALE: 1/4"=1'-0"

DESIGN LOADS

ROOF:	SNOW - 30 psf
	DEAD - 17 psf
FLOOR:	LIVE - 40 psf
	DEAD - 12 psf
DECK:	LIVE - 60 psf
	DEAD - 12 psf
GROUND SNOW LOAD - 43 psf	
ULTIMATE DESIGN WIND SPEED, V _W - 115 mph	
NOMINAL DESIGN WIND SPEED, V _W - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	

CONTRACTOR/OWNER SHALL VERIFY ADEQUACY OF SNOW LOADS WITH BUILDING OFFICE AND CITY/STATE OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.

NOTICE AND WARNING

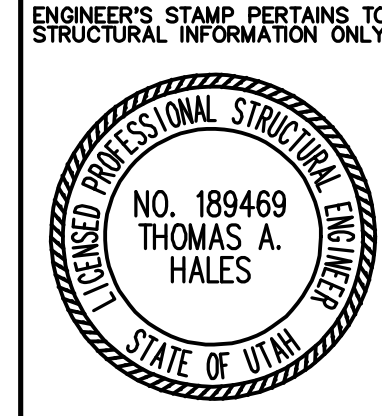
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THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:

LOT # 1
SUBDIVISION: SYCAMORE COVE SUBDIVISION
ADDRESS: 2321 QUINCY AVE.
CITY: OGDEN STATE: UTAH

ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.

DATE: 11/20/2023



THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO HIM BY THE OWNER AND/OR GENERAL CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO HIM BY THE OWNER AND/OR GENERAL CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO HIM BY THE OWNER AND/OR GENERAL CONTRACTOR.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS, AND ALL ASSOCIATED COSTS, PRIOR TO CONSTRUCTION.

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OGDEN CITY
LOT 1, SYCAMORE COVE SUBDIVISION
2321 QUINCY AVE.
OGDEN, UTAH

FOR:
304 WEST PLEASANT VIEW DR.
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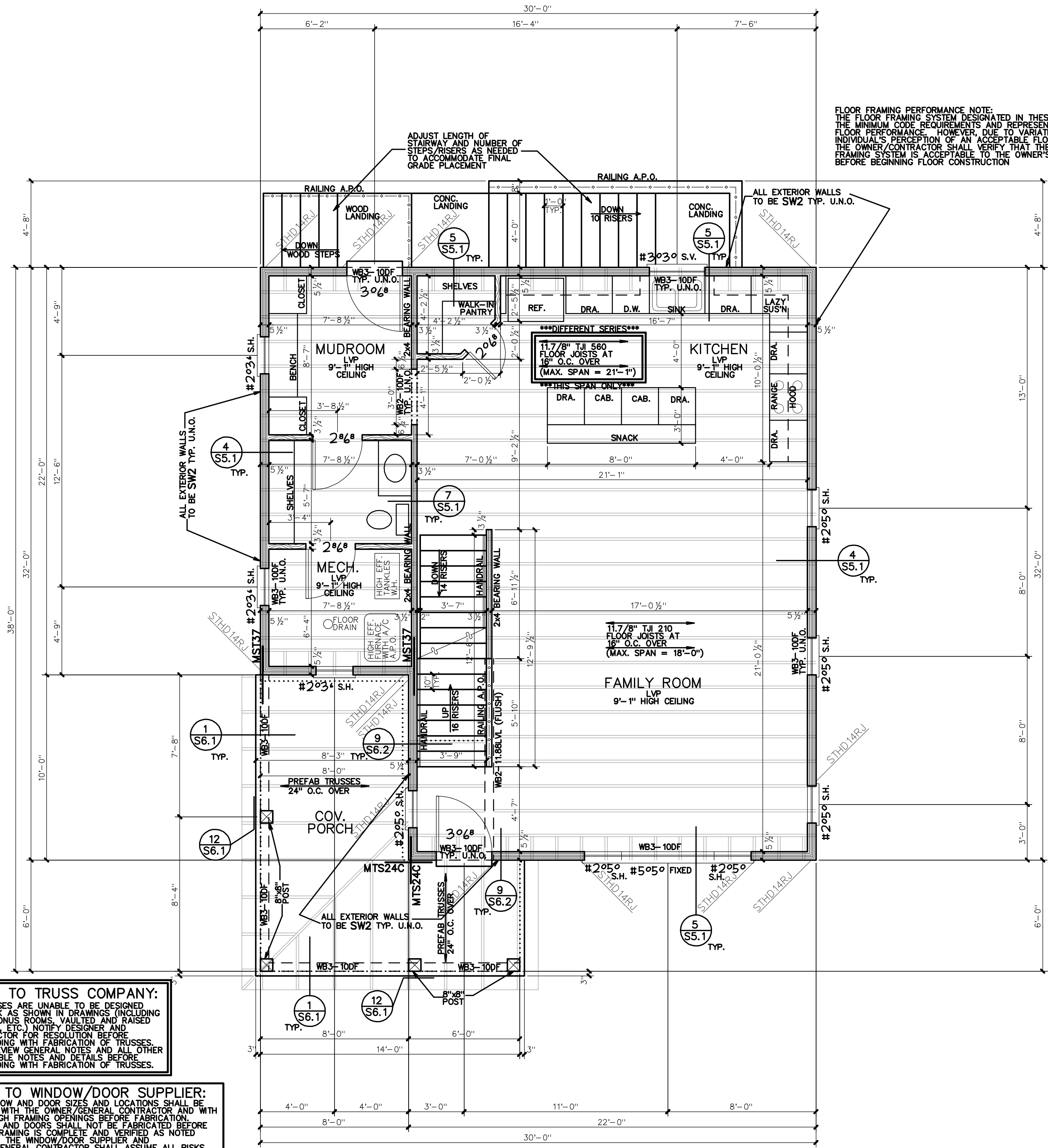


BASEMENT/FOUNDATION PLAN
DRAWN: CWH
TYPE: ORIGINAL DRAWING
DATE: 11/20/2023
JOB NO.: 23069
PLAN NO.: 0-1-BB0/3-2-837-TWO-STORY

S2.2

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FCO FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC15 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COB PATIO OR DECK POST SHALL BE A FCO FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 3/S4.1 AND 4/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLDDOWNS: SEE THE METAL HOLDDOWN SCHEDULE ON SHEET S1.1 AND DETAILS B & 9/S4.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLDDOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST FOR MISSED OR MISPLACED HOLDDOWNS. USE AN ORNATE HOLDDOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLDDOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE AREAS ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAIL OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
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- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF-SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/SS.2.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOMELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/SS.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS WITH LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT. DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2)-#4 x 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3/16" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 1/2" THICKNESS. ALL EXTERIOR BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYP. SHEAR WALL UNLESS NOTED OTHERWISE. TO HELD BEARING WALLS TO BEARING WALLS, SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3, U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYP.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3, U.N.O. ALL BEARING WALLS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS SS.1 THRU SS.2. U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/SS.1 WHERE POSSIBLE. ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENTS AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 4" X 4" X 4" BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/SS.1.
- THE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MST48 STRAP AS NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 8/SS.1.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, MULTILEVEL CEILING, RAISED CEILING, ETC.) NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON ROOF OVERBUILD AREA. PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLSF MIN IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



NOTE TO TRUSS COMPANY:
IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES. ALSO REVIEW GENERAL NOTES AND ALL OTHER APPLICABLE NOTES AND DETAILS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.

NOTE TO WINDOW/DOOR SUPPLIER:
ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED WITH THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETED AND VERIFIED AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSURE ALL RISKS ASSOCIATED WITH WINDOW/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

CONSTRUCTION COST NOTE:
THE BUILDING DESIGN SHOWN IN THESE PLANS IS BASED ON DESIGN PROVIDED TO US BY THE OWNER AND/OR GENERAL CONTRACTOR. WE HAVE NOT ATTEMPTED, AND IT IS OUT OF THE SCOPE OF OUR SERVICES, TO PROVIDE AN ULTIMATE DESIGN THAT IS SUITABLE FOR THE COST OF THE HOME DESIGN SHOWN. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR TO DETERMINE IF THE COST OF THE BUILDING AND ASSOCIATED SITE IMPROVEMENTS WILL BE SATISFACTORY TO THE OWNER'S EXPECTATIONS.

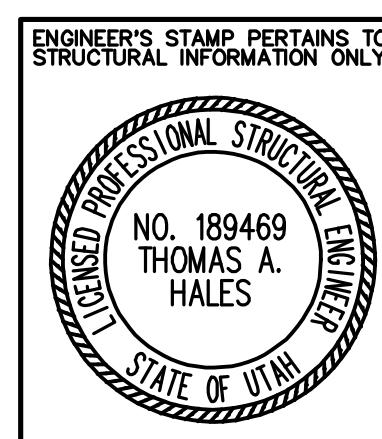
SITE AND LOT NOTE:
THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE SITE CONDITIONS PROVIDED TO US BY THE OWNER AND/OR GENERAL CONTRACTOR. WE HAVE NOT ATTEMPTED, AND IT IS OUT OF THE SCOPE OF OUR SERVICES, TO EVALUATE THE SITE FOR SUITABILITY OF THE CONSTRUCTION OF THE HOME DESIGN SHOWN. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR TO ENSURE THAT THE SITE CONDITIONS (INCLUDING GRADE HEIGHTS, DRAINAGE SLOPES, RETAINING AREAS, ETC.) ARE OR WILL BE MADE SUITABLE TO WORK WITH THE HOME DESIGN SHOWN.

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
MAIN FLOOR AREA = 880 SQ. FT.
UPPER FLOOR AREA = 837 SQ. FT.
TOTAL AREA = 1717 SQ. FT.
COV. PORCH AREA = 173 SQ. FT.

DESIGN LOADS	
ROOF:	SNOW - 30 psf DEAD - 17 psf
FLOOR:	LIVE - 40 psf DEAD - 12 psf
DECK:	LIVE - 60 psf DEAD - 12 psf
GROUND SNOW LOAD - 43 psf	
ULTIMATE DESIGN WIND SPEED, V _{ULT} - 115 mph	
NOMINAL DESIGN WIND SPEED, V _{ND} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	
CONTRACTOR/OWNER SHALL VERIFY ADEQUACY OF SNOW LOADS WITH BUILDING OFFICE AND CIVIL ENGINEER OR LIGHTWEIGHT CONC. HAS BEEN USED IN THE FLOOR DESIGN.	

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THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
LOT # 1
SUBDIVISION: SYCAMORE COVE SUBDIVISION
ADDRESS: 2321 QUINCY AVE.
CITY: OGDEN STATE: UTAH
ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
DATE: 11/20/2023



THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, AND REGULATORY COMPLIANCE OF THE PROJECT.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS, AND ALL ASSOCIATED COSTS, PRIOR TO CONSTRUCTION.

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OGDEN CITY
LOT 1, SYCAMORE COVE SUBDIVISION
2321 QUINCY AVE., OGDEN, UTAH

FOR:
304 WEST PLEASANT VIEW DR., OGDEN, UTAH 84414
PHONE: (801)-782-0484
FAX: (801)-782-8631
WWW.LOMONDVIEW.COM

Lomond View
DESIGN • CONSTRUCTION • ETC.

MAIN FLOOR PLAN

DATE: 11/20/2023
DRAWN: CWH
TYPE: ORIGINAL DRAWING
PLAN NO.: 0-1-880/3-2-837-TWO-STORY

S2.3

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FS3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 3/S4.1 AND 4/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLD-DOWNS: SEE THE METAL HOLD-DOWN SCHEDULE ON SHEET S1.1 AND DETAILS 5 & 9/S4.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLD-DOWNS AS NOTED ON THE DRAWINGS WHEN LOCATED AT RIM JOIST VERSION OF THE SCHEDULE. FOR MISSED OR MISPLACED HOLD-DOWNS USE AN ALTERNATE HOLD-DOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLD-DOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE AREAS ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/S4.1.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING TO A DEPTH OF 1/4 THE THICKNESS OF THE SLAB. ALL DISCONTINUOUS CONTROL JOINTS SHALL BE REINFORCED WITH (2) #4 x 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. EXTERIOR WALLS SHALL BE A SW2 TYP. U.N.O. FOR WALLS UNLESS NOTED OTHERWISE TO HELP RESIST SEISMIC/WIND FORCES. ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3. U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3. U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED IN PLANS THAT HAVE SPANS GREATER THAN 8'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 8'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.2. U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING WALLS OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/S4.1. WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENTS A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS. U.N.O. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BETWEEN WOOD POSTS AND INSTALLED ON CONC. PADS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 9/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MST48 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/S5.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.) NOTIFY THE DESIGNER AND/OR CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3. U.N.O. AT ROOF OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 LB. PLANE HORIZ. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.

NOTE TO WINDOW/DOOR SUPPLIER:
ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED BY THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETE AND VERIFIED AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOWS/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

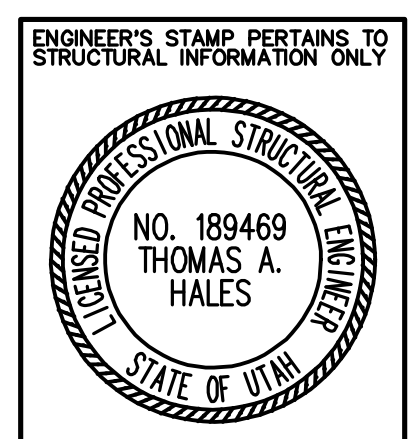
NOTE TO TRUSS COMPANY:
IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES. ALSO REVIEW GENERAL AND OTHER APPLICABLE NOTES AND DETAILS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.

CONSTRUCTION COST NOTE:
THE BUILDING DESIGN SHOWN IN THESE PLANS IS BASED ON THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE HOME DESIGN SHOWN IN THESE PLANS. THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE HOME DESIGN SHOWN IN THESE PLANS. THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF THE HOME DESIGN SHOWN IN THESE PLANS.

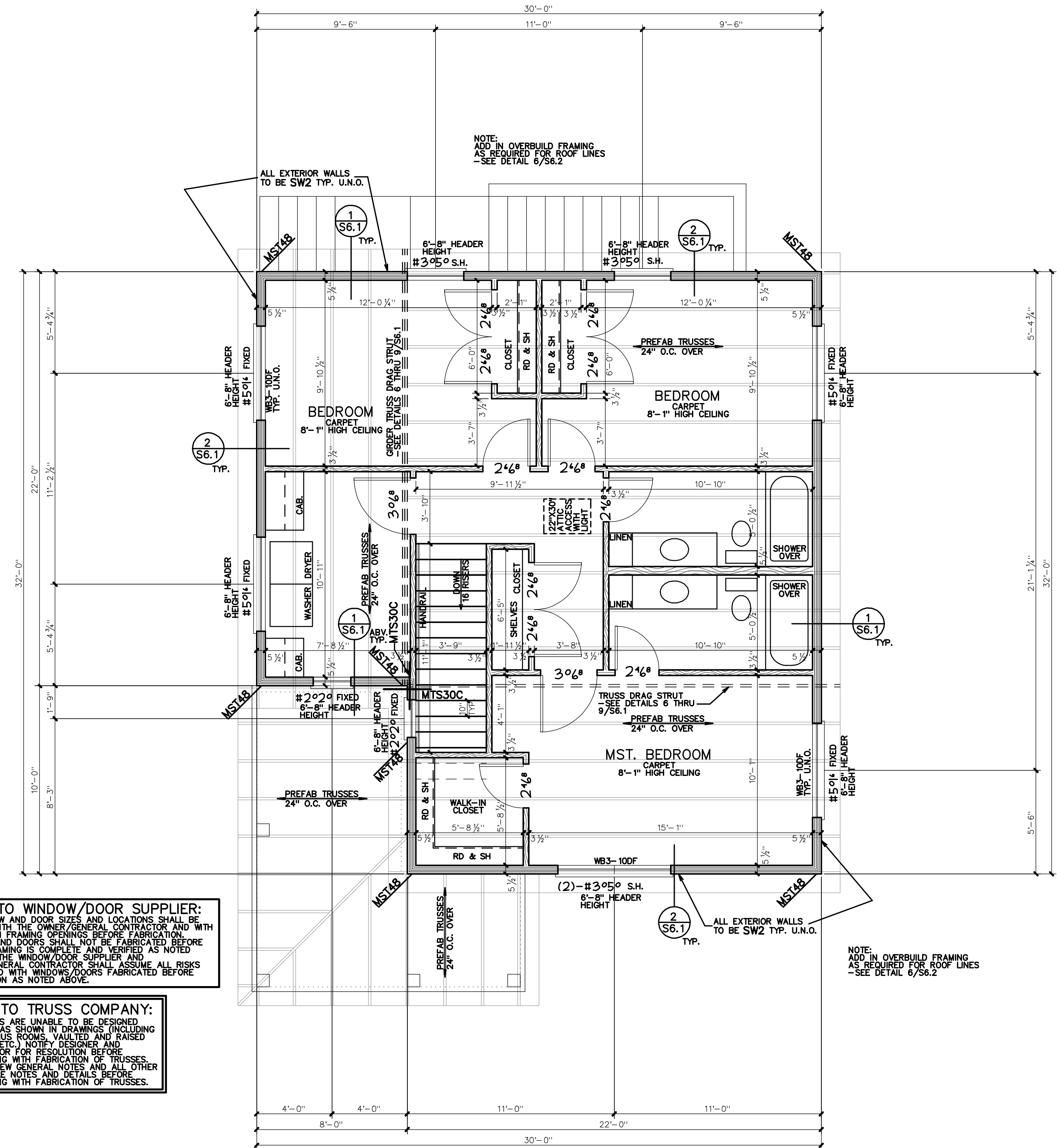
SITE AND LOT NOTE:
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DESIGN LOADS	
ROOF:	SNOW - 30 psf DEAD - 17 psf
FLOOR:	LIVE - 40 psf DEAD - 12 psf
DECK:	LIVE - 60 psf DEAD - 12 psf
GROUND SNOW LOAD - 43 psf	
ULTIMATE DESIGN WIND SPEED, V _{ult} - 115 mph	
NOMINAL DESIGN WIND SPEED, V _{des} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	
CONTRACTOR/OWNER SHALL VERIFY ADEQUACY OF SNOW LOADS WITH BUILDING OFFICE AND CITY/STATE OR LIGHT-WEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN.	

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THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
LOT # 1
SUBDIVISION: SYCAMORE COVE SUBDIVISION
ADDRESS: 2321 QUINCY AVE.
CITY: OGDEN STATE: UTAH
ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
DATE: 11/20/2023



UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"
UPPER FLOOR AREA = 837 SQ. FT.



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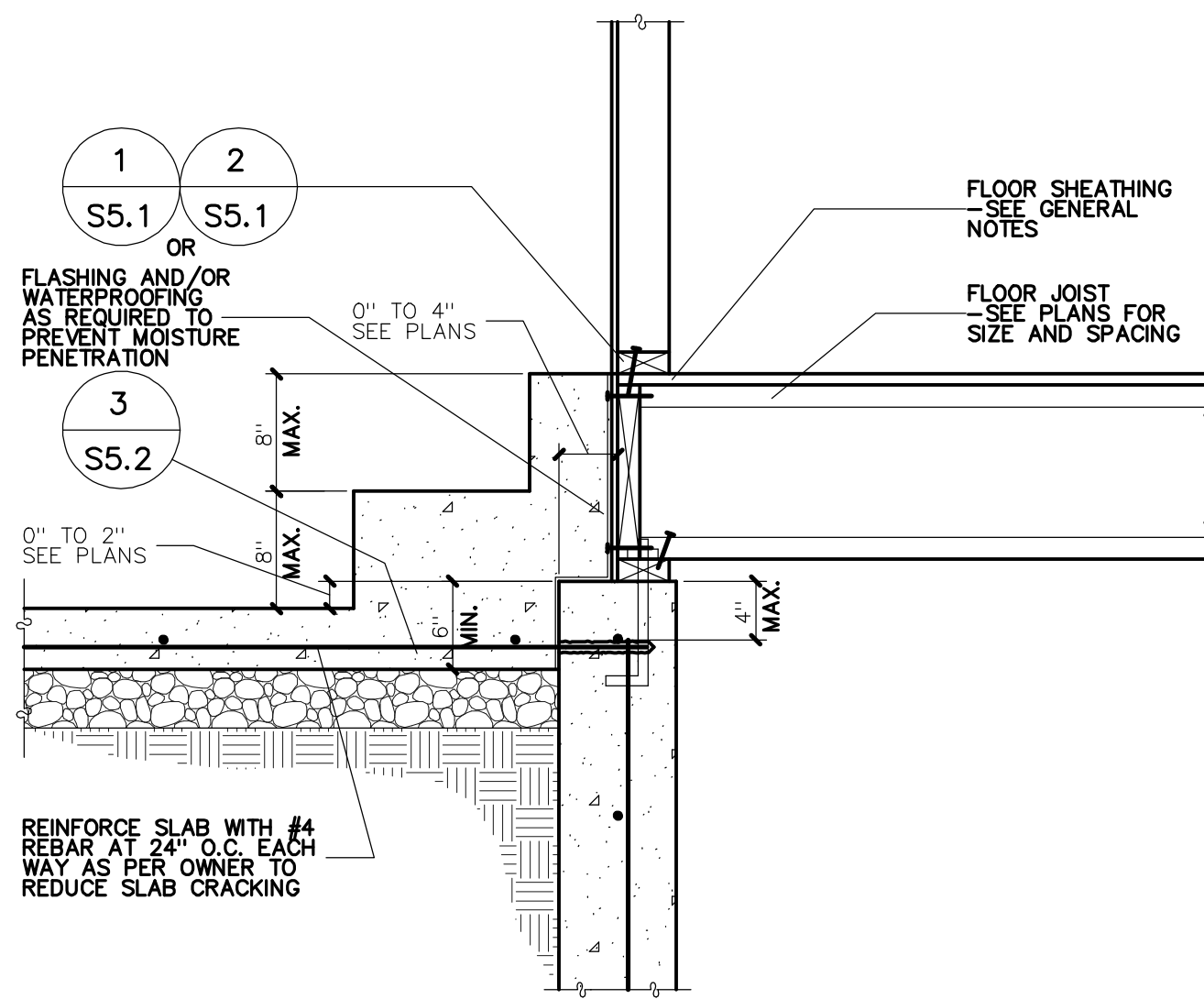
OGDEN CITY
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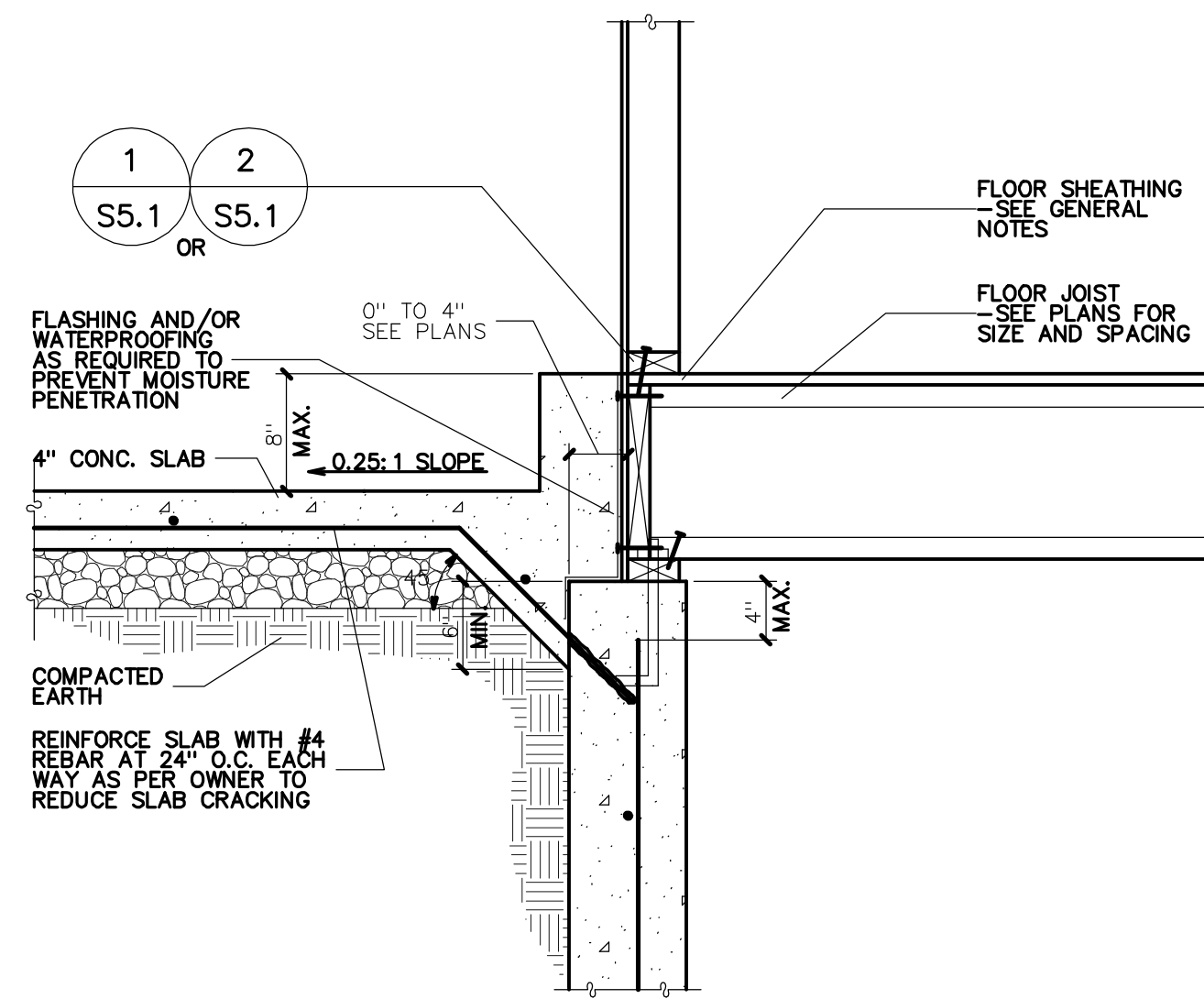
UPPER FLOOR PLAN
DRAWN: CWH
TYPE: ORIGINAL DRAWING
DATE: 11/20/2023
JOB NO.: 23069
PLAN NO.: 0-1-B80/3-2-837-TWO-STORY

S2.4



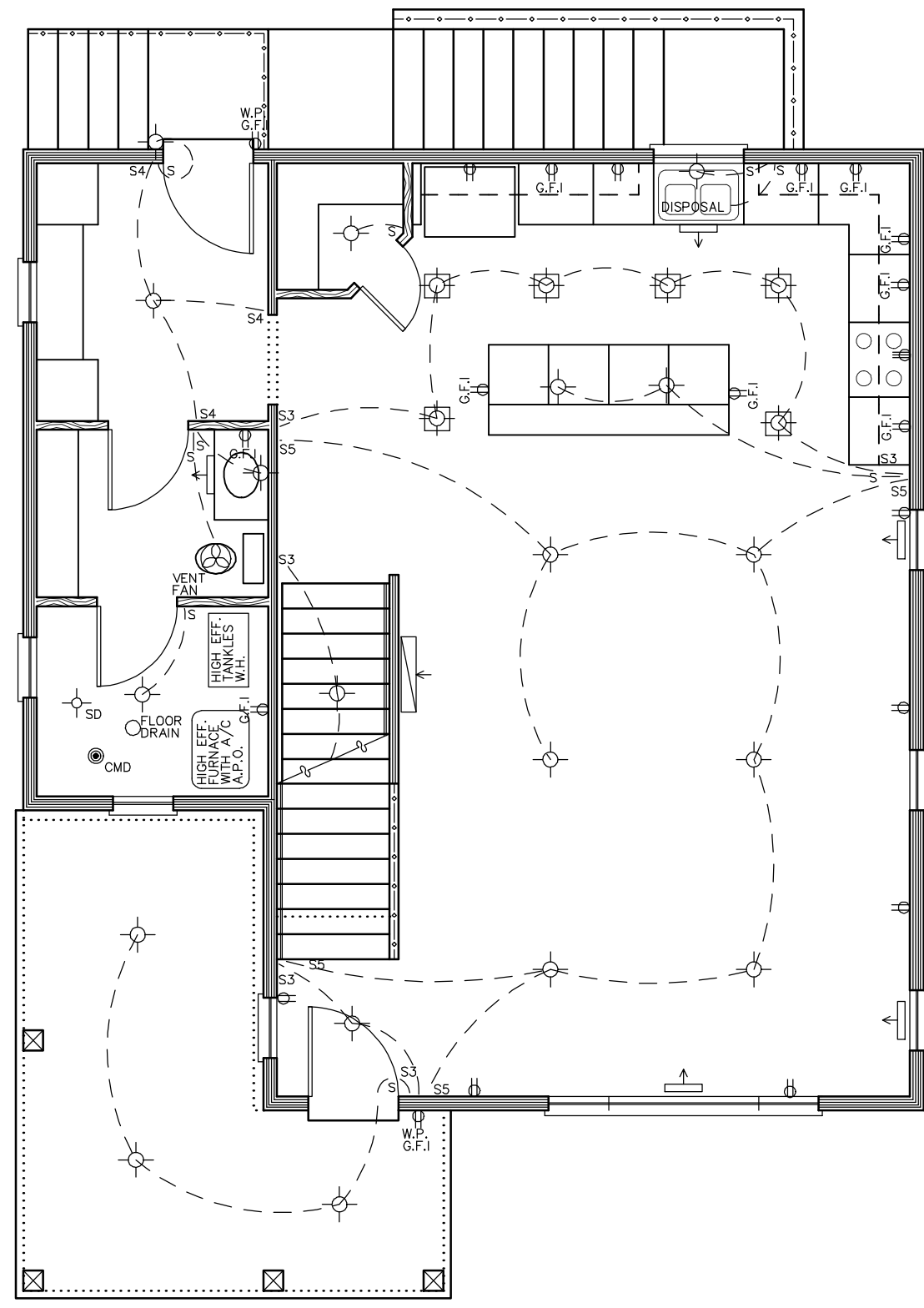
RAISED PATIO SLAB FOR STAIRS DETAIL
NO SCALE

1
S3.1

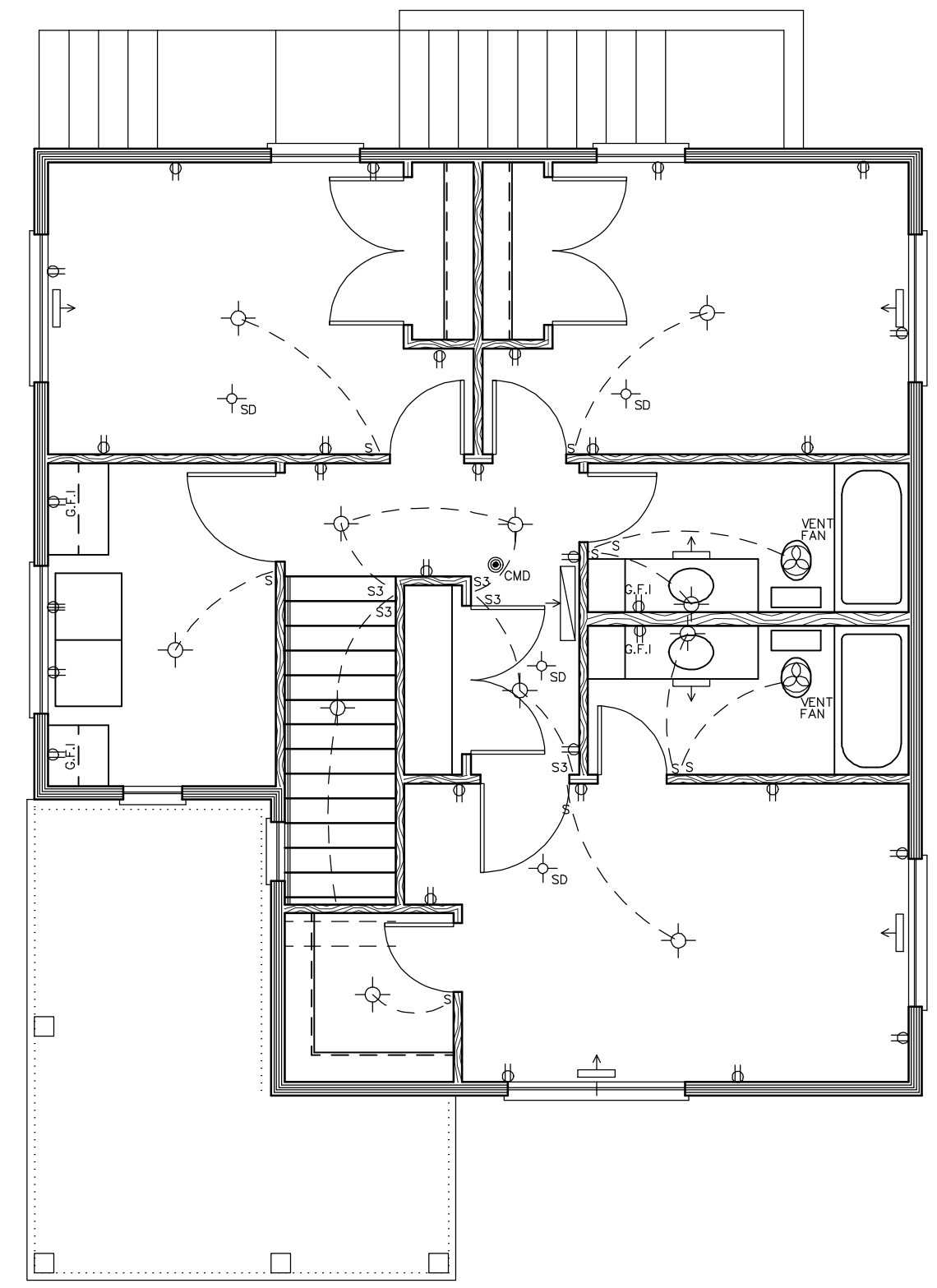


RAISED PATIO SLAB DETAIL
NO SCALE

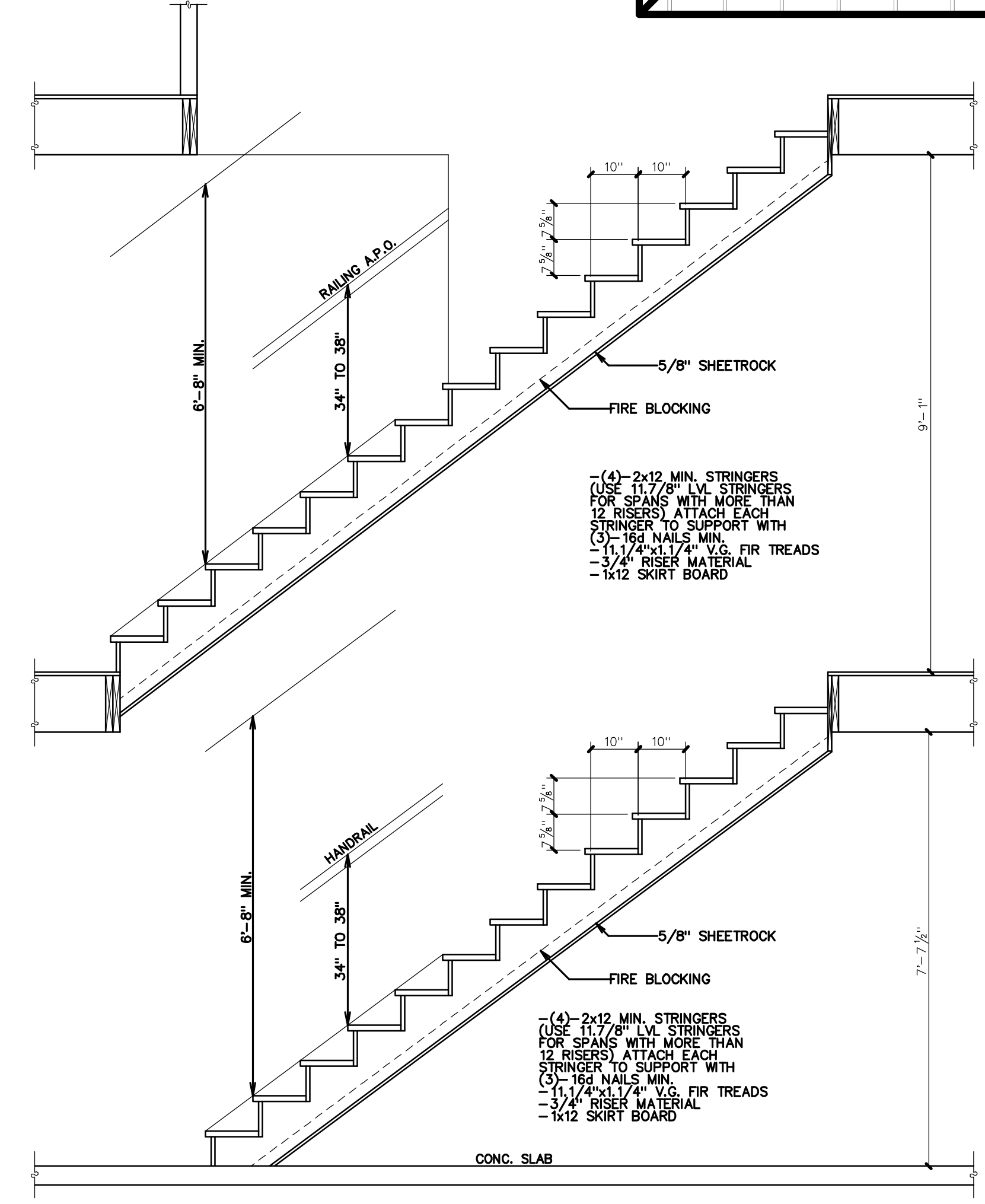
2
S3.1



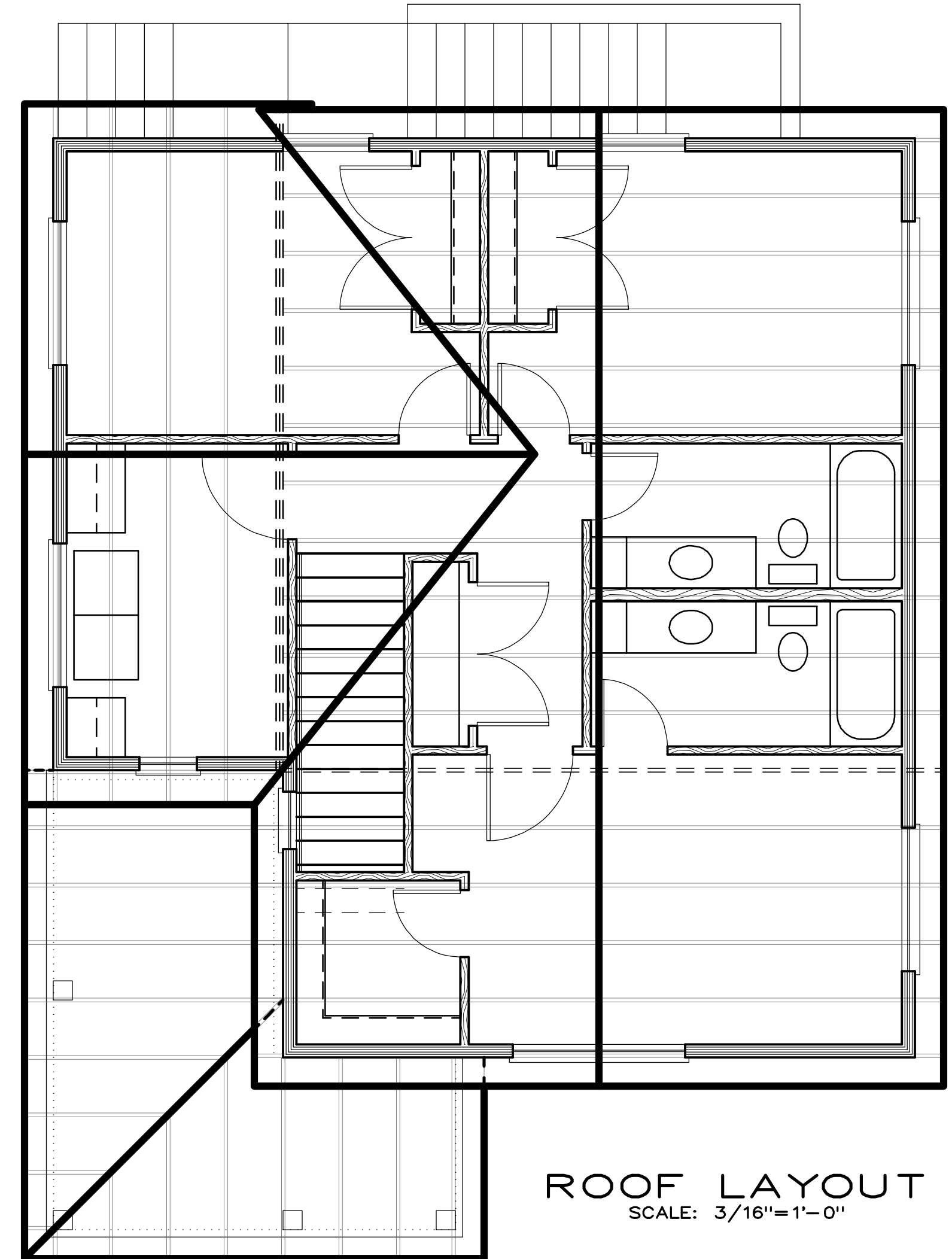
MAIN FLOOR ELEC./H.V.A.C. LAYOUT
SCALE: 3/16" = 1'-0"



UPPER FLOOR ELEC./H.V.A.C. LAYOUT
SCALE: 3/16" = 1'-0"



STAIR DETAIL
SCALE 1/2" = 1'-0"



ROOF LAYOUT
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- I. ROOF NOTES
 1. PROVIDE ICE AND WATER SHIELD ON ROOF FROM ALL EAVE EDGES TO 24" INSIDE THE EXTERIOR WALL. ROOFS WITH SLOPES LESS THAN 4/12 SHALL HAVE ICE AND WATER SHIELD INSTALLED ON ENTIRE ROOF PLANE.
 2. PROVIDE INSULATION DEPTH MARKERS EVERY 300 SQ. FT. OF ATTIC SPACE
 3. PROVIDE ATTIC VENTILATION AND ATTIC ACCESS AS PER LOCAL CODE
 4. ATTIC VENTILATION: TOTAL SQ. FT./300x144 = TOTAL SQ. IN.
 - PROVIDE 50% ATTIC VENTS AND 50% SOFFIT VENTS
 - BAFFLE TRUSS CAVITIES AT EXTERIOR WALLS
- II. ELECTRICAL NOTES
 1. THE ELECTRICAL PLAN SHOWN ONLY REPRESENTS A BASIC ELECTRICAL LAYOUT. ALL ELECTRICAL SHALL BE COORDINATED WITH THE OWNER AND SHALL MEET THE APPLICABLE ELECTRICAL CODES.
 2. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, NEXT TO A FURNACE AND WATER HEATER, AND ON EACH ADDITIONAL STORY OF THE DWELLING AS PER LOCAL ELECTRICAL CODES.
 3. CARBON MONOXIDE DETECTORS (CMD) SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES AS PER LOCAL CODE.
 4. ARC-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN ALL BEDROOMS AS PER LOCAL ELECTRICAL CODES.
 5. GROUND-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN ALL OUTDOOR OUTLETS AND OUTLET CIRCUITS IN KITCHENS, BATHROOMS, GARAGES, AND WHERE OUTLETS ARE CLOSE TO A WATER SOURCE AS PER LOCAL ELECTRICAL CODES.
- III. MISCELLANEOUS NOTES
 1. ADDITIONS: CONTRACTOR SHALL COORDINATE AND ADJUST FOUNDATION AND OTHER WALL HEIGHTS AS NEEDED TO ALLOW FLOOR LEVELS TO BE FLUSH BETWEEN NEW AND EXISTING FLOORS. ALSO, THE HVAC SYSTEM INTO EXISTING HVAC SYSTEM, OR PROVIDE NEW AS PER LOCAL CODES.
 2. POISON SOIL FOR TERMITE CONTROL AS PER LOCAL CODE REQUIREMENTS
 3. PROVIDE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD AT AREAS AS REQUIRED BY LOCAL FIRE CODE.
 4. WINDOW FRAMING: ALL OPENABLE WINDOWS THAT HAVE A WINDOW SILL LOCATED MORE THAN 72" ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW SHALL BE PLACED SO THAT THE WINDOW SILL IS AT LEAST 24" ABOVE THE INTERIOR FINISHED FLOOR OR SHALL HAVE A WINDOW GUARD PROVIDED AS PER CODE. ALL WINDOWS USED FOR EGRESS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR.
 5. PROVIDE R-13 INSULATION MINIMUM IN 2x4 EXTERIOR WALLS, AND R-19 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS. PROVIDE R-38 INSULATION MINIMUM AT ALL INTERIOR TRUSS ATTIC SPACES AND RAFTER FRAMING.
 6. CRAWL SPACE VENTS: PROVIDE CRAWL SPACE VENTS AS PER LOCAL CODE REQUIREMENTS FOR ALL CRAWL SPACE AREAS.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES, AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS, AND ALL ASSOCIATED COSTS, PRIOR TO CONSTRUCTION.

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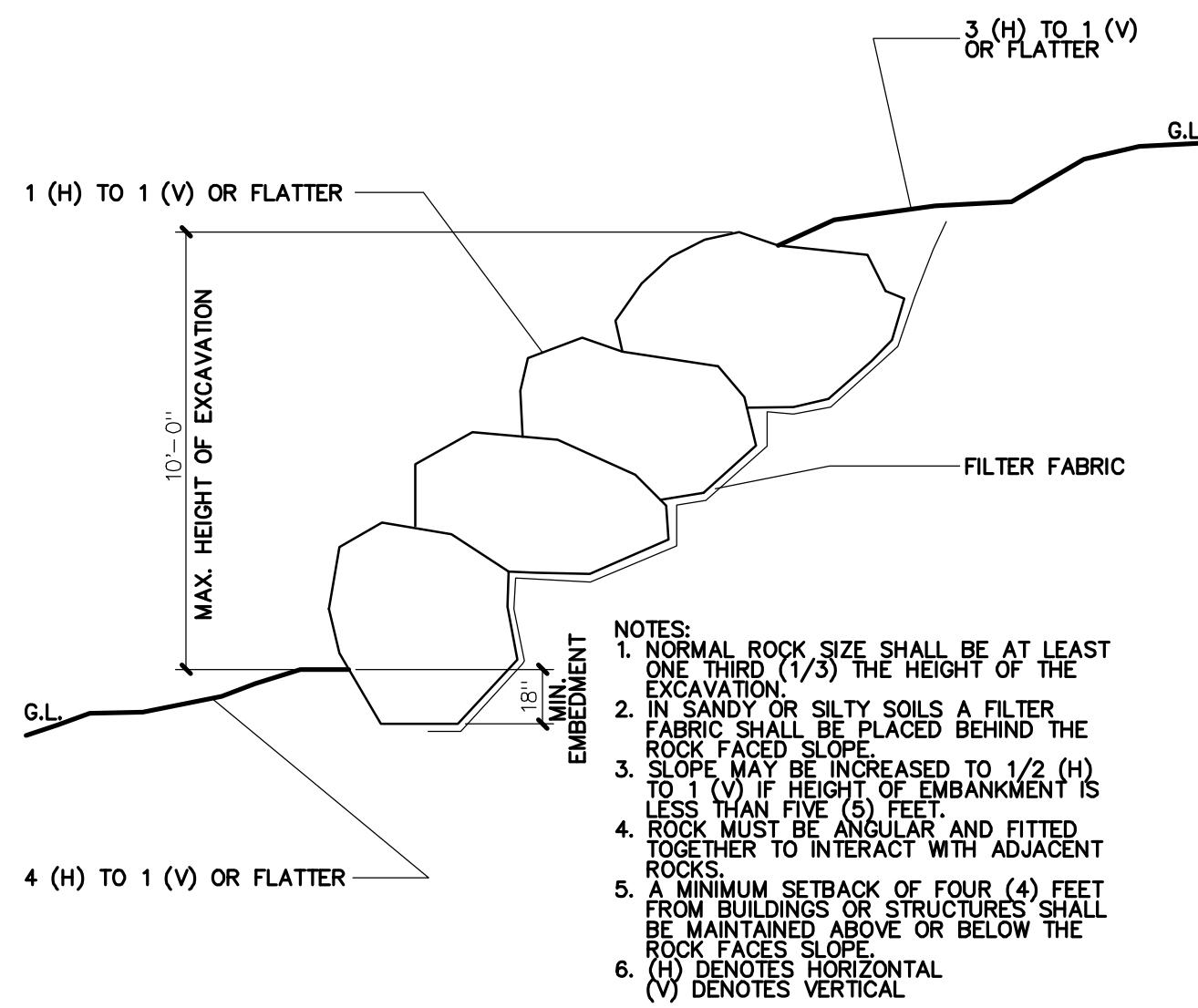
FOR:
304 WEST PLEASANT VIEW DR.
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FAX: (801) 782-8631
WWW.LOMONDVIEW.COM

OGDEN CITY
LOT 1, SYCAMORE COVE SUBDIVISION
2521 QUINCY AVE.
OGDEN, UTAH



ROOF LAYOUT, STAIR DETAIL, AND ELECTRICAL PLAN
DATE: 11/20/2023
DRAWN: CVH
JOB NO.: 23069
TYPE: ORIGINAL DRAWING
PLAN NO.: 0-1-880/2-2-837 TWO-STORY

S3.1

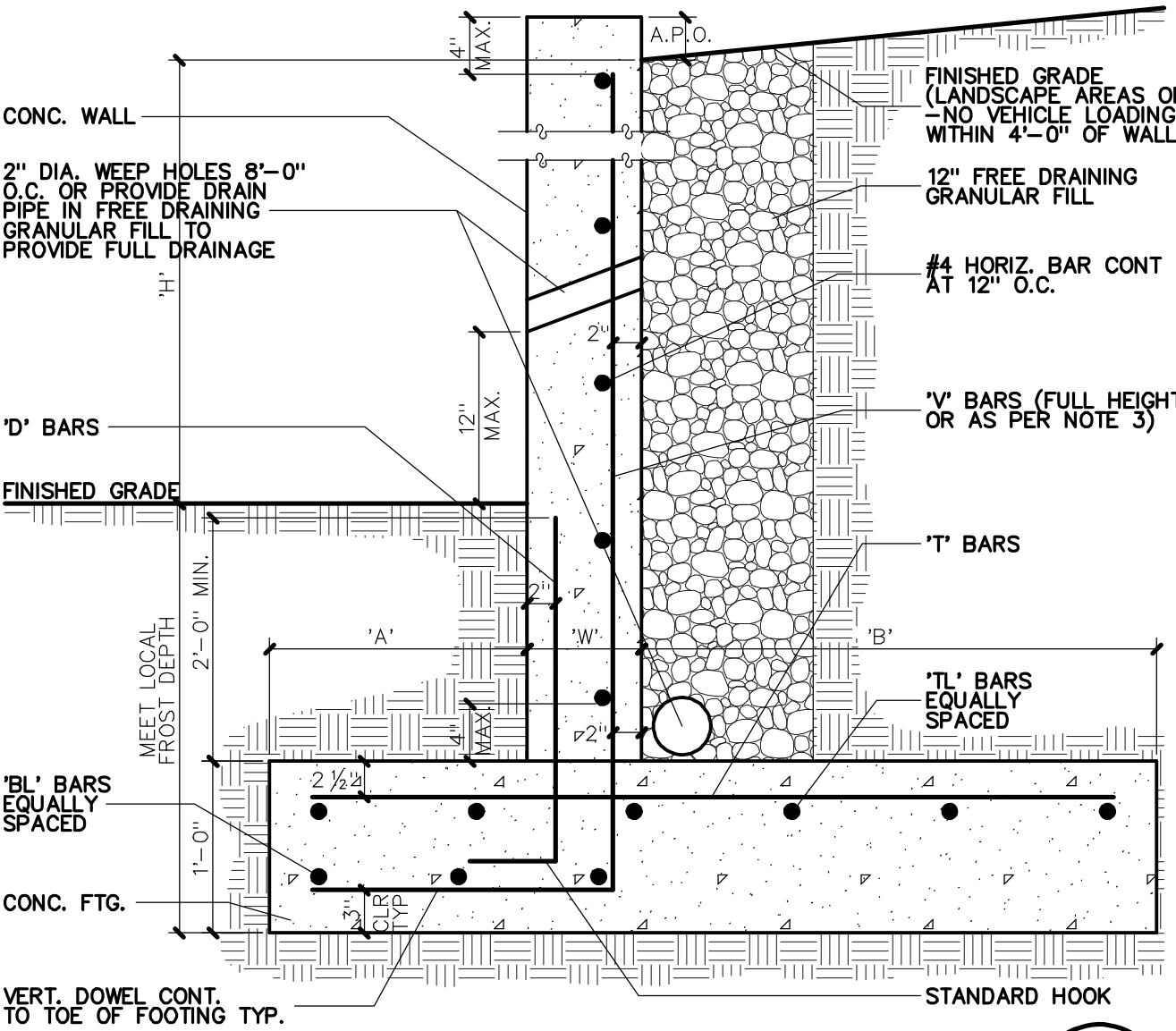


ROCK RETAINING WALL UP TO 10'-0" HEIGHT
 NO SCALE (S4.1)

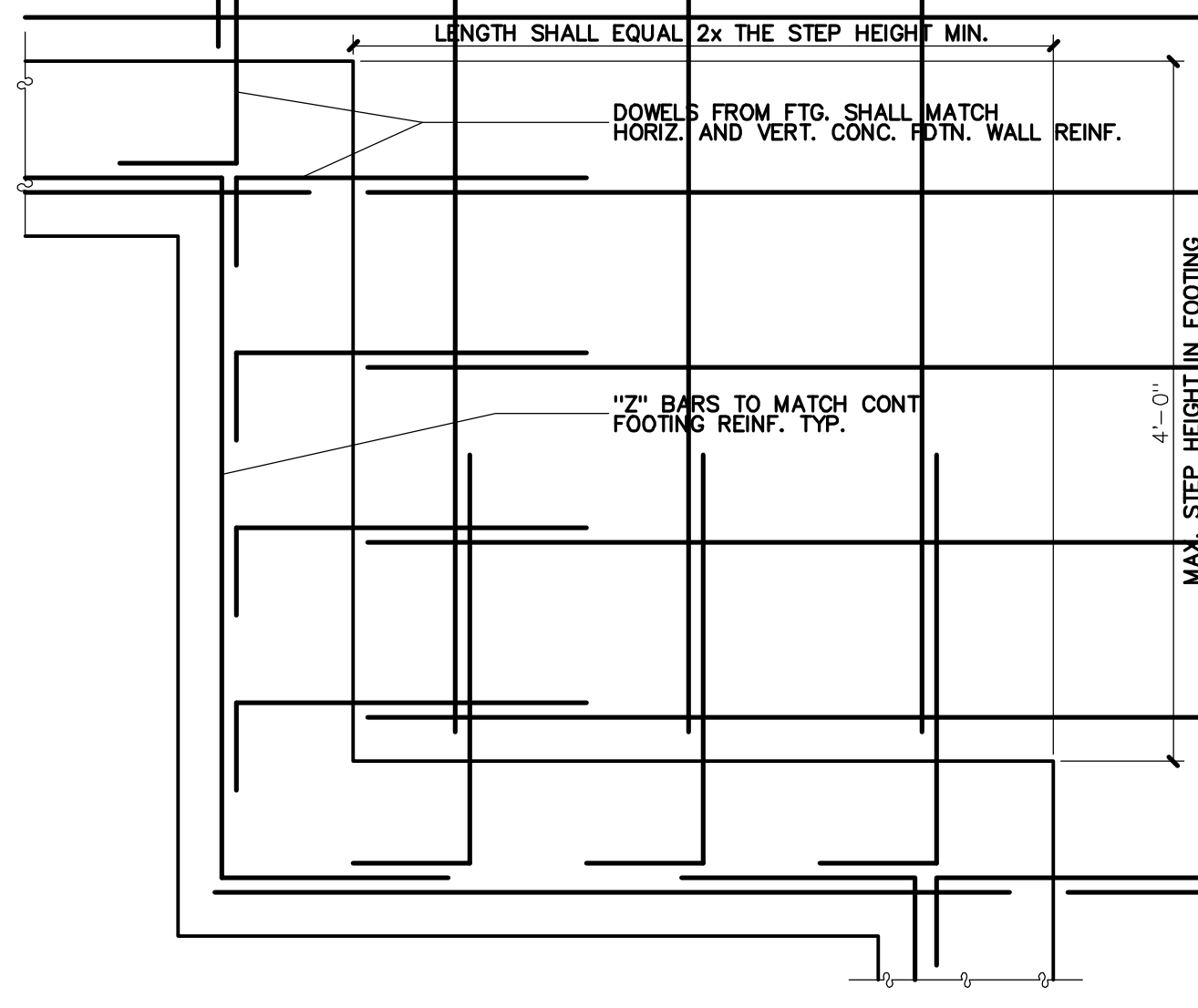
CONCRETE RETAINING WALL SCHEDULE^{1,4}

MARK	"W"	"H" ²	"A"	"B"	"V" BARS ³	"D" BARS	"T" BARS	"TL" BARS	"BL" BARS
					SIZE SPACE	SIZE SPACE	SIZE SPACE	SIZE NO.	SIZE NO.
CRW2.0	8" MIN.	TO 2'-0"	8"	8"	#4 18"	N/A N/A	#4 18"	#4 3	#4 2
CRW4.0	8" MIN.	TO 4'-0"	1'-0"	1'-8"	#4 12"	N/A N/A	#4 12"	#4 4	#4 2
CRW6.5	8" MIN.	TO 6'-6"	1'-0"	3'-0"	#5 12"	N/A N/A	#4 12"	#4 5	#4 2
CRW8.0	8" MIN.	TO 8'-0"	1'-3"	3'-6"	#5 10"	#4 24"	#4 10"	#4 6	#4 3
CRW9.5	8" MIN.	TO 9'-6"	1'-6"	4'-6"	#6 10"	#4 24"	#4 8"	#4 7	#4 3

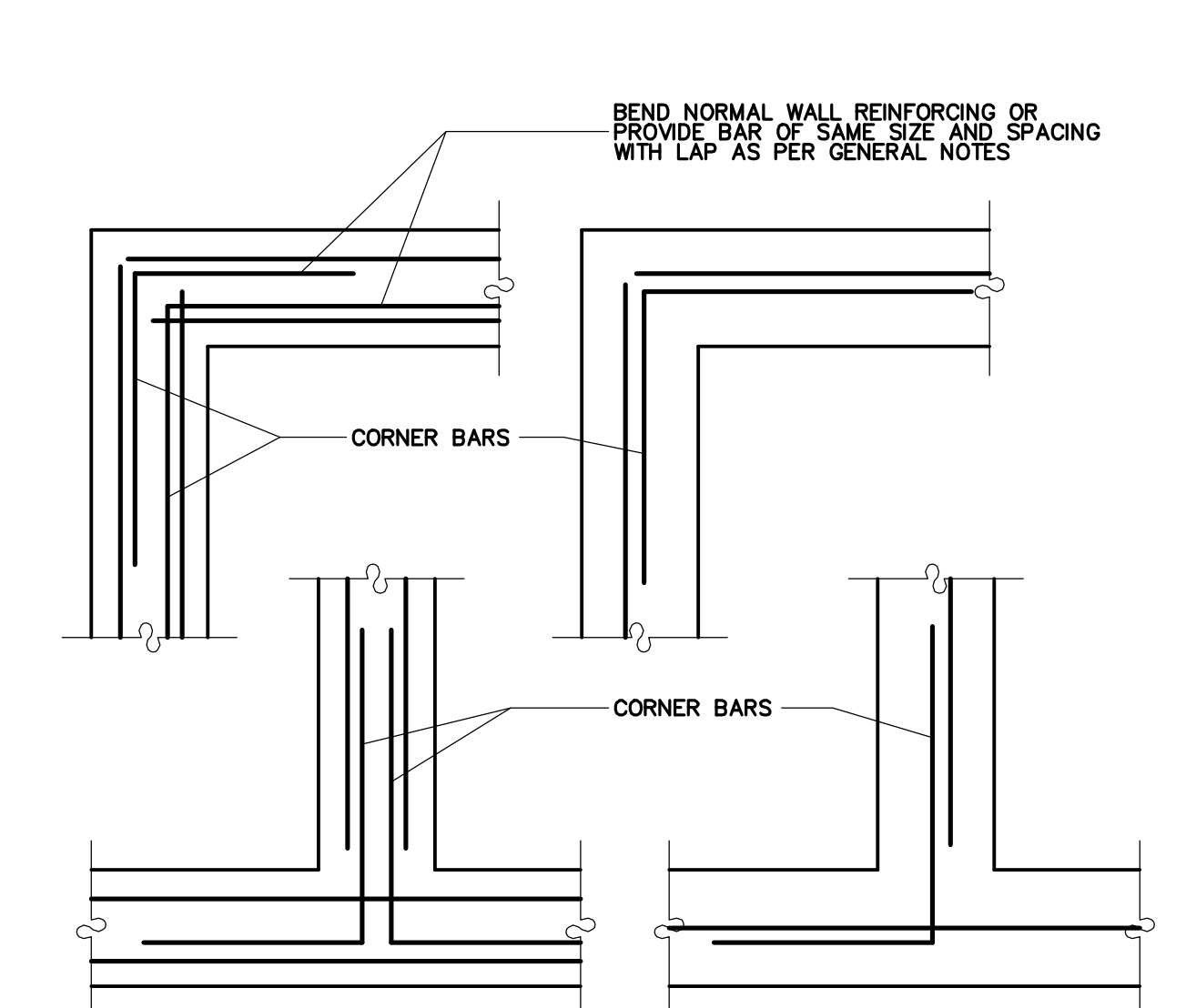
CONC. RETAINING WALL NOTES:
 1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
 2. WALL HEIGHT MAY BE INCREASED AS NEEDED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS THE UNBALANCED FILL HEIGHT (H'-HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED THAT SHOWN. ADD ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED THAT SHOWN.
 3. "V" BARS SHALL NOT BE SPLICED BELOW MID-HEIGHT OF WALL.
 4. THIS SCHEDULE IS FOR RETAINING LANDSCAPE AREAS ONLY. DO NOT USE WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.



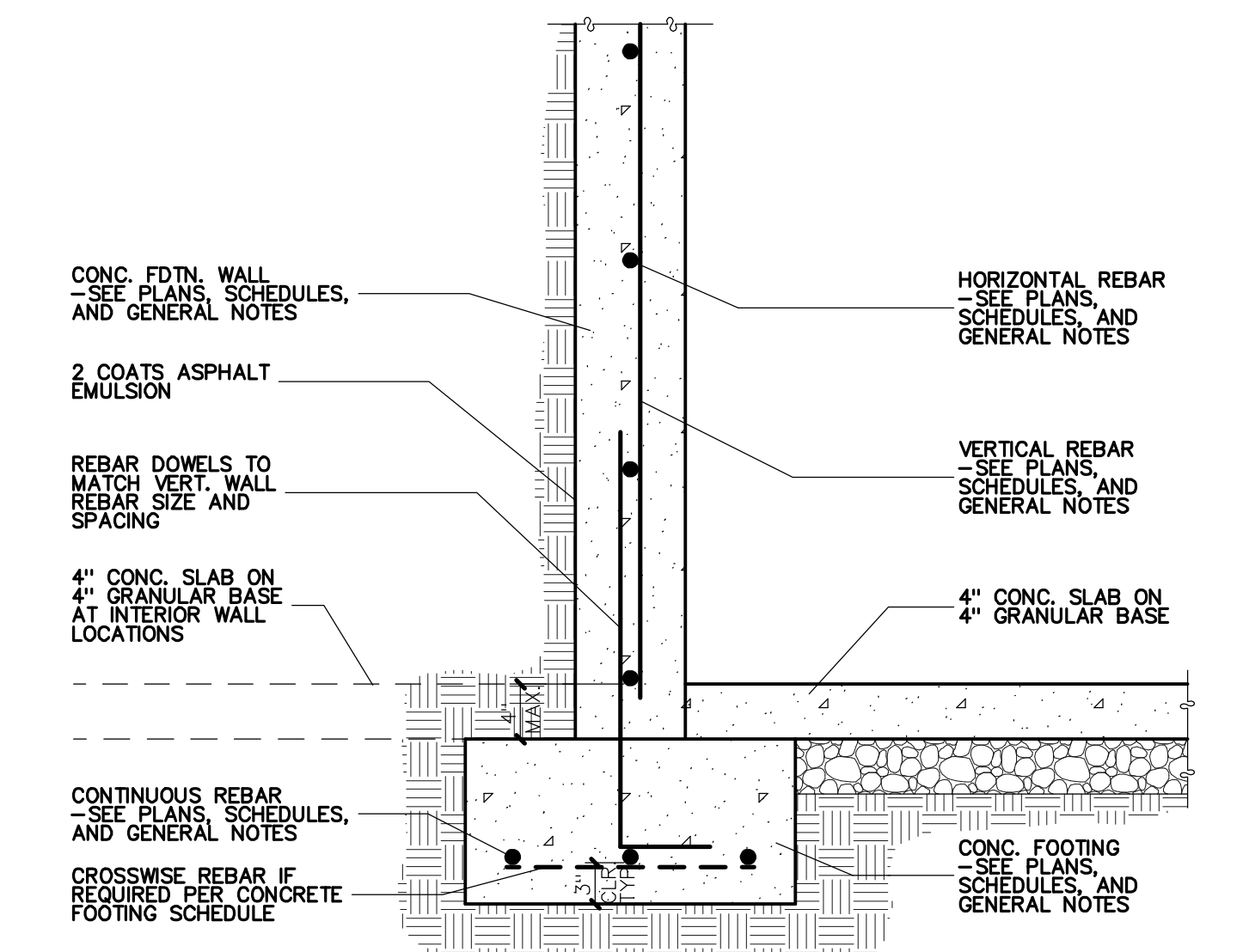
CONCRETE RETAINING WALL
 NO SCALE (S4.1)



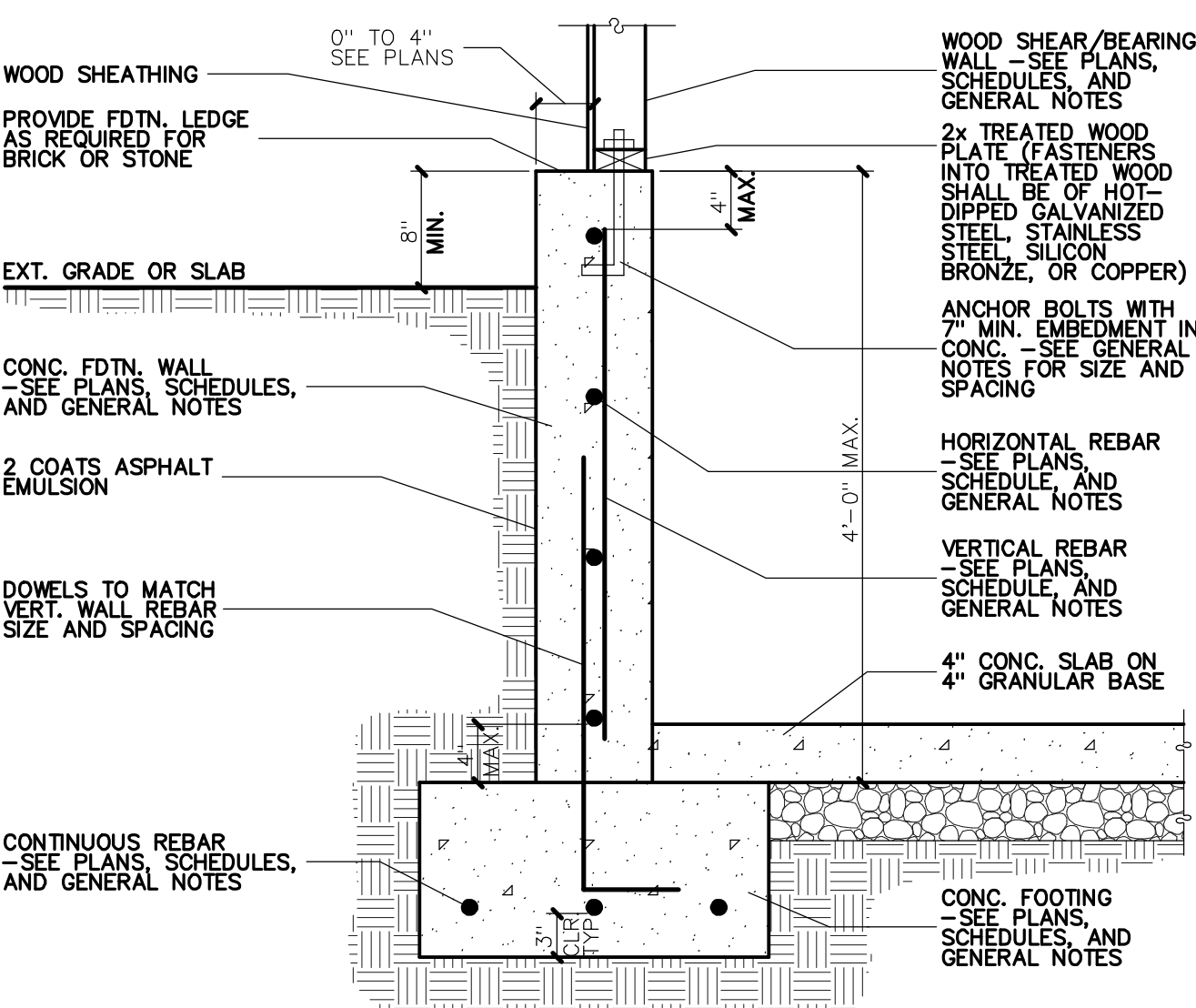
STEPPED FOOTING DETAIL
 NO SCALE (S4.1)



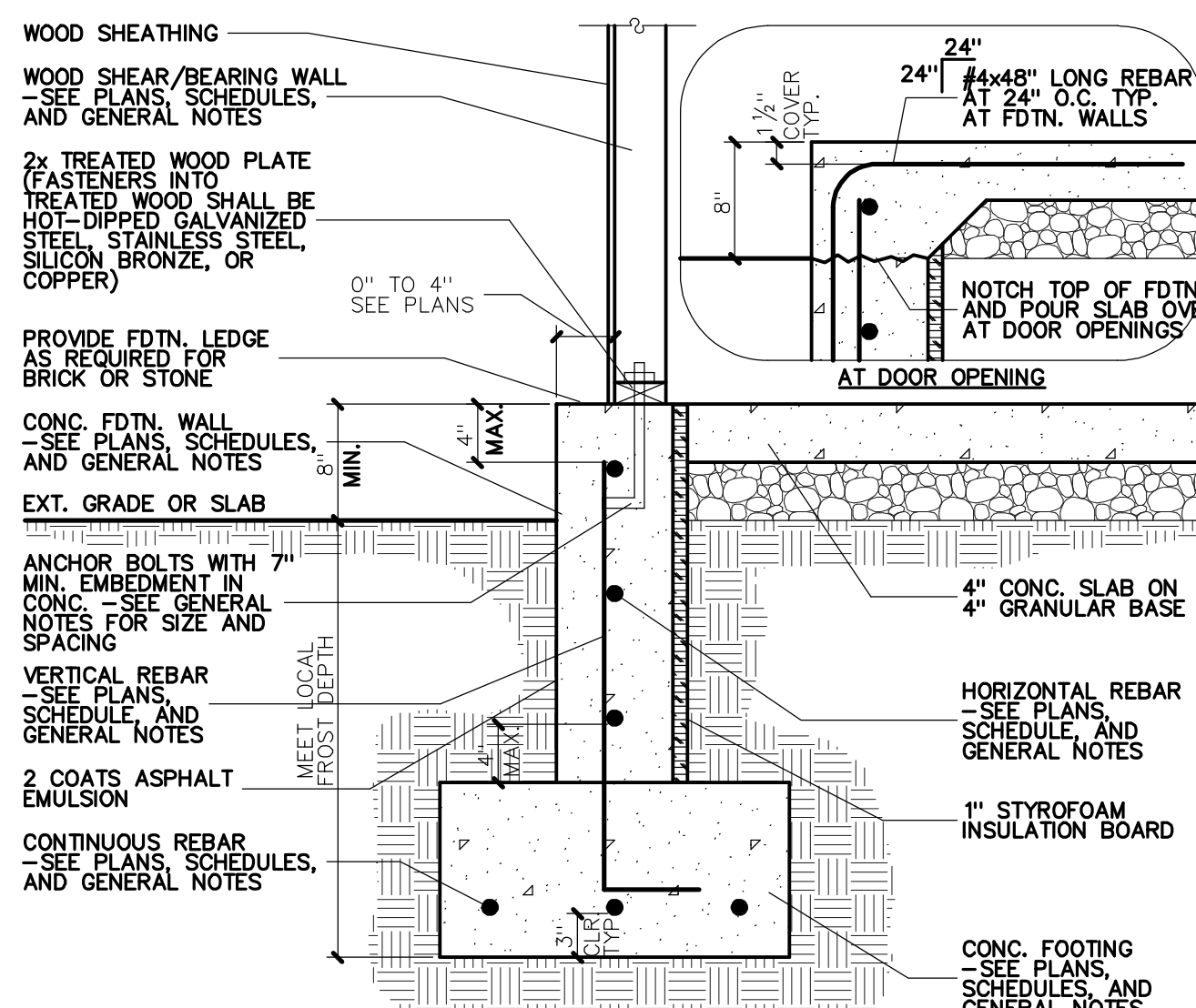
CONC. FOUNDATION WALL/FOOTING CORNERS AND INTERSECTION
 NO SCALE (S4.1)



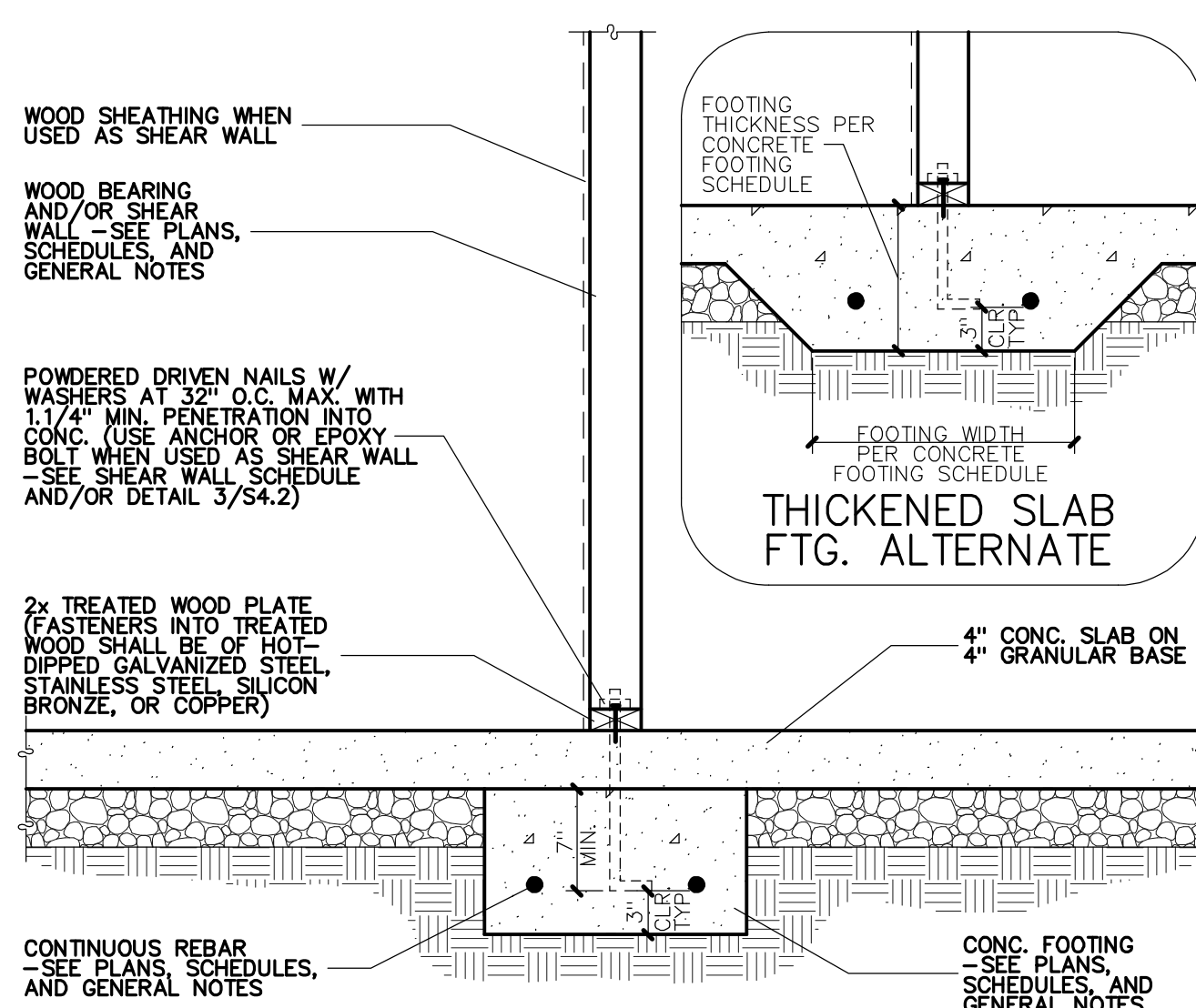
FOUNDATION WALL ON FOOTING
 NO SCALE (S4.1)



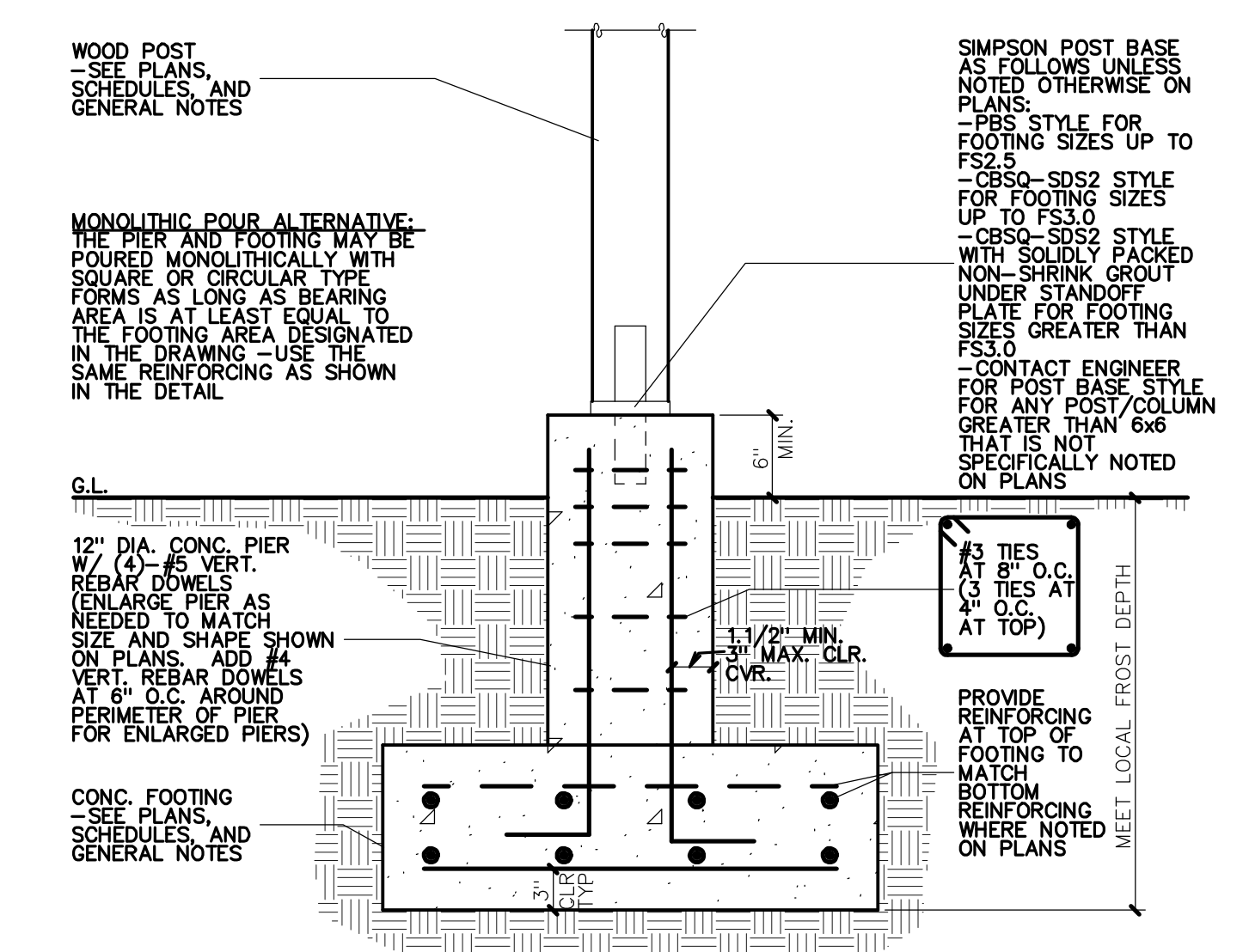
4'-0" FOUNDATION WALL ON FOOTING
 NO SCALE (S4.1)



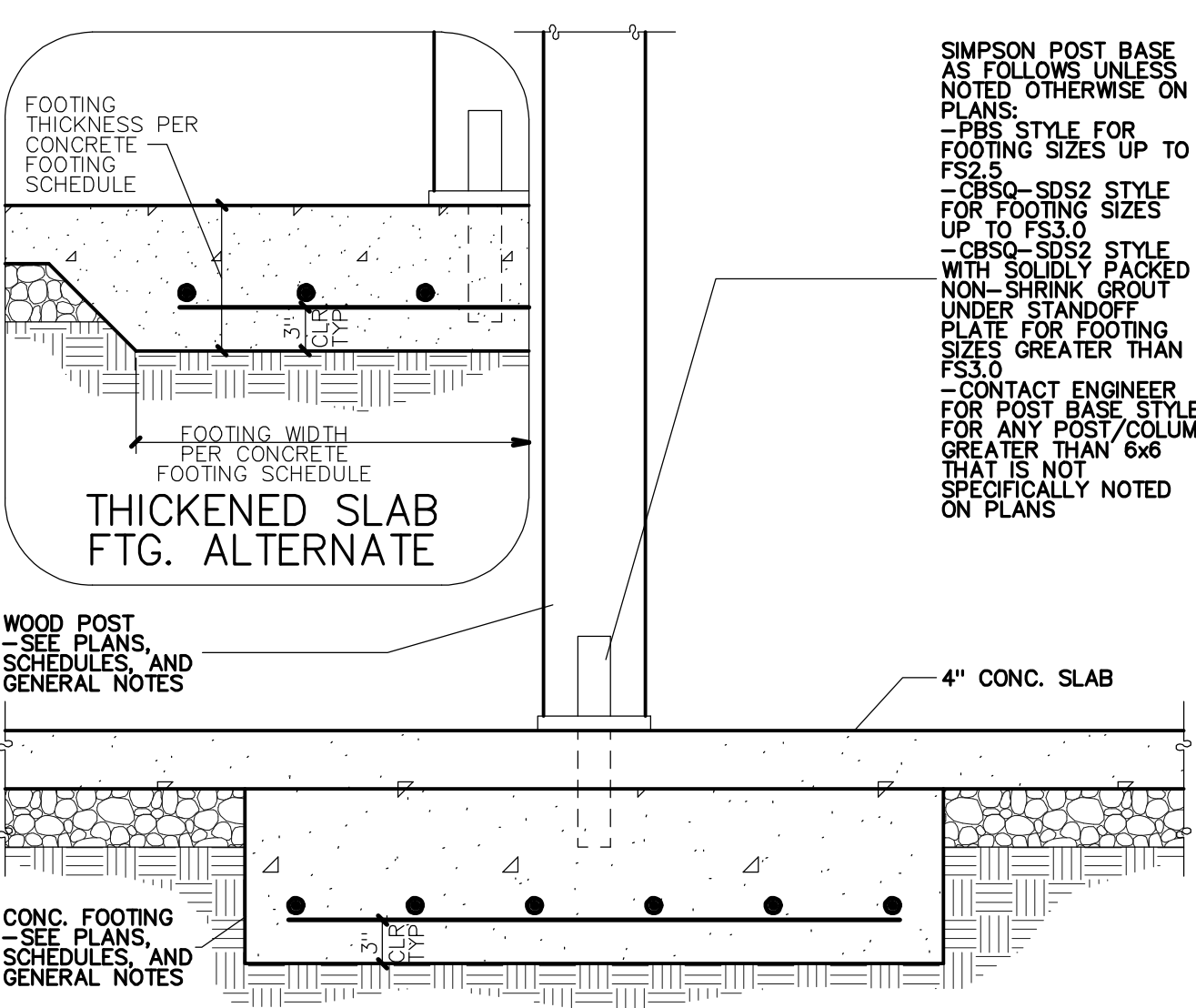
FOUNDATION WALL ON FOOTING
 NO SCALE (S4.1)



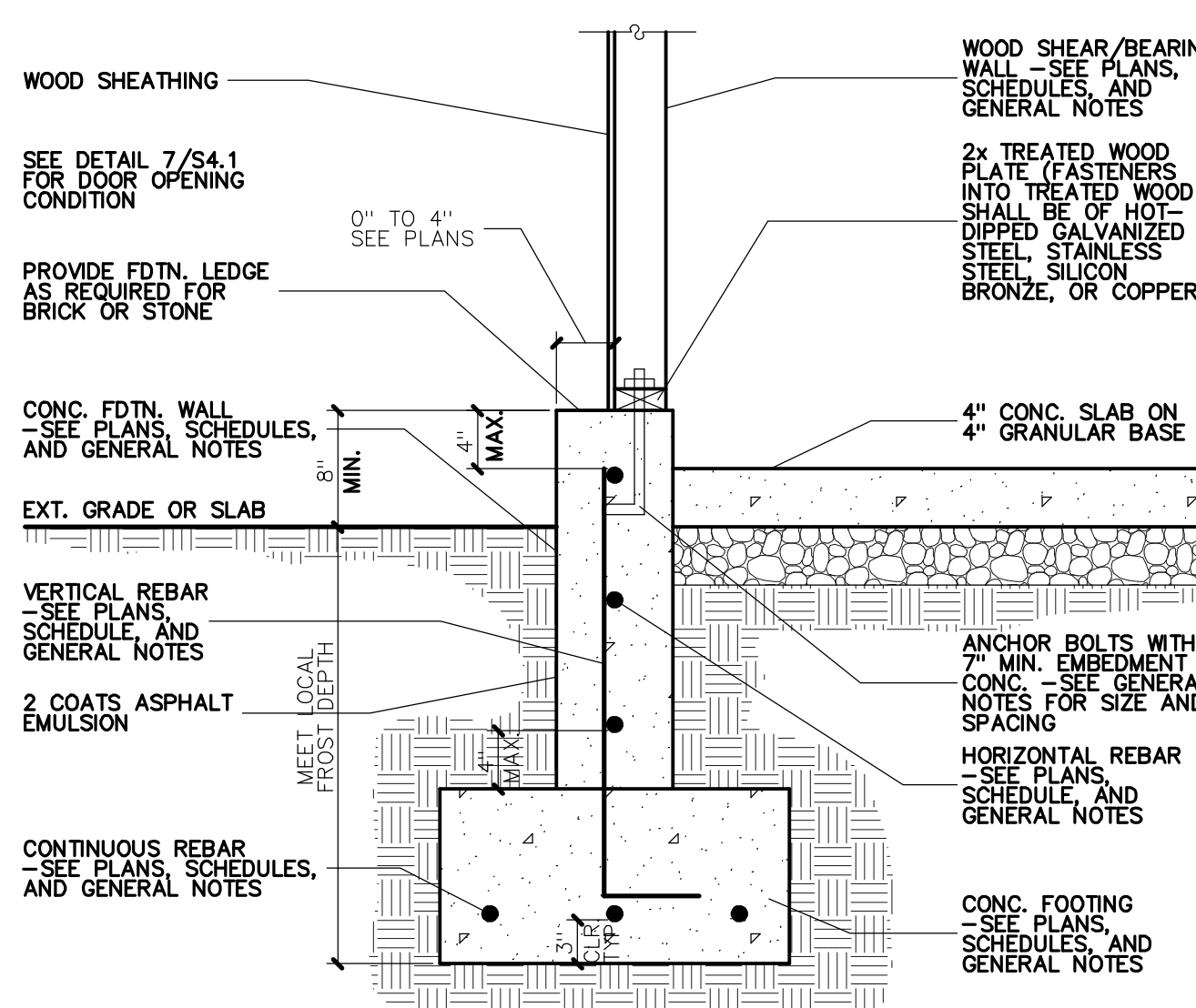
INTERIOR BEARING AND/OR SHEAR WALL ON CONC. FOOTING
 NO SCALE (S4.1)



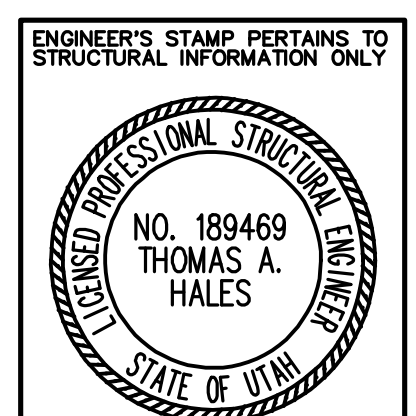
EXTERIOR WOOD POST ON CONC. PIER/FOOTING
 NO SCALE (S4.1)



INTERIOR WOOD POST ON CONC. FOOTING
 NO SCALE (S4.1)

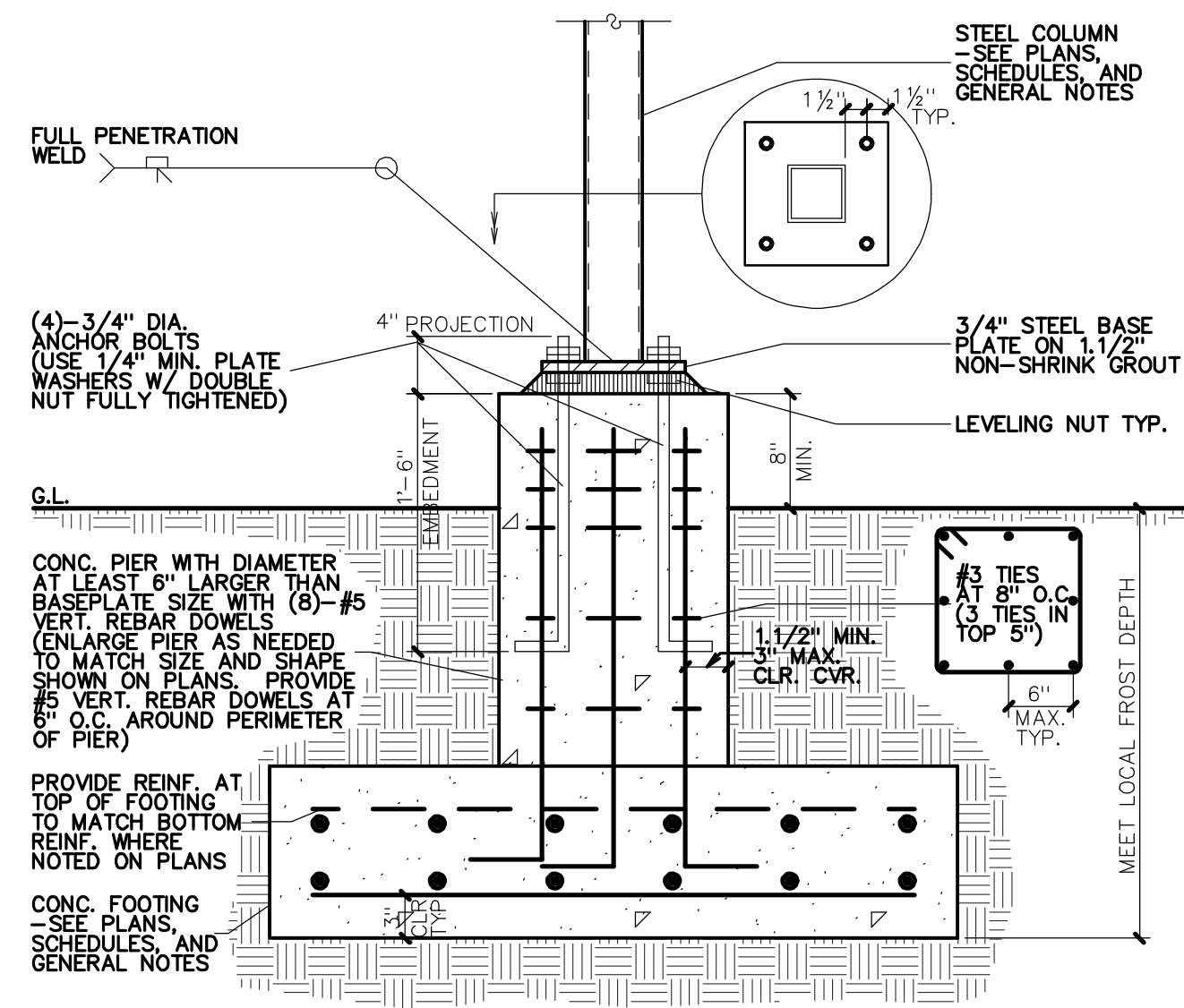


FOUNDATION WALL ON FOOTING
 NO SCALE (S4.1)

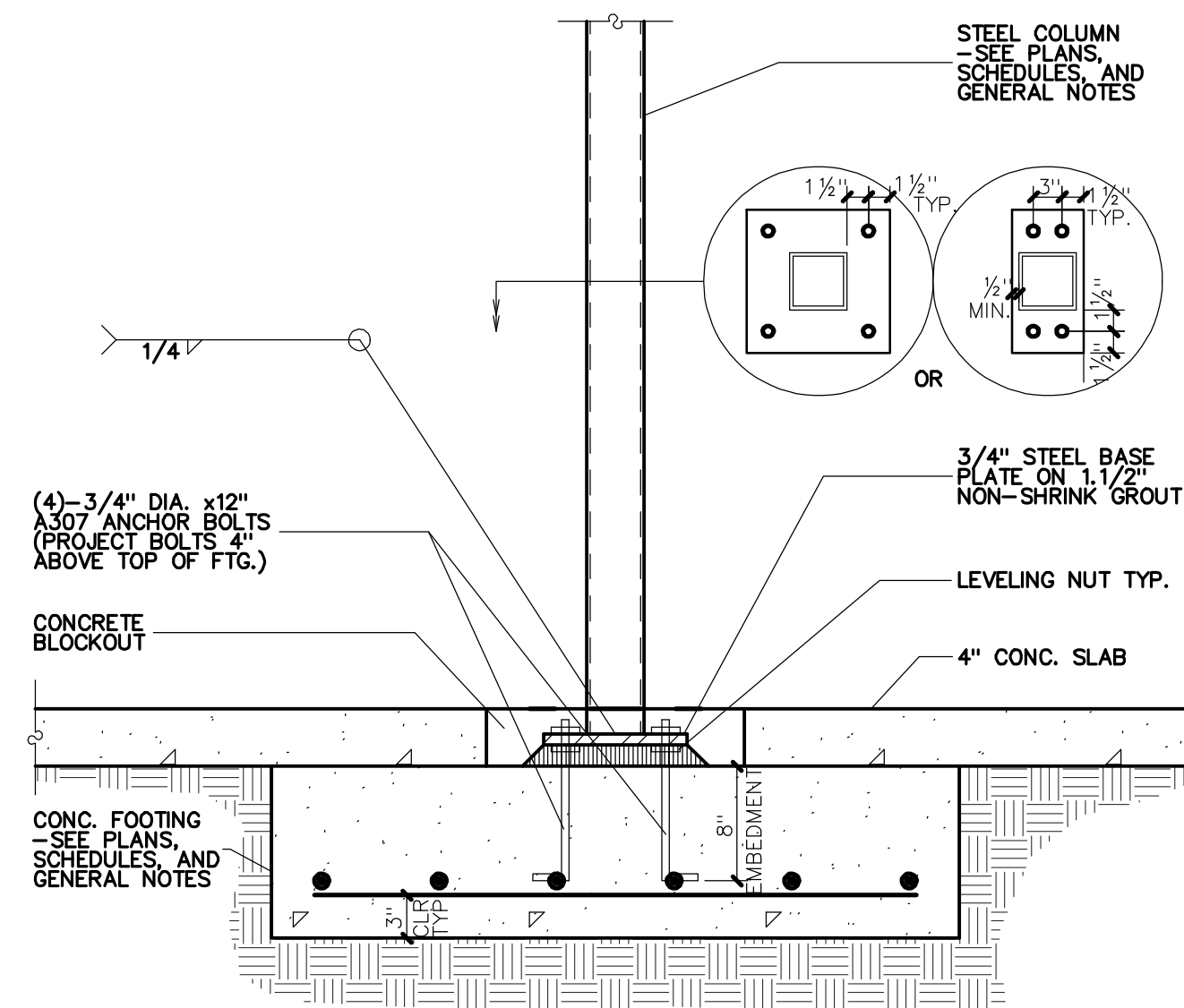


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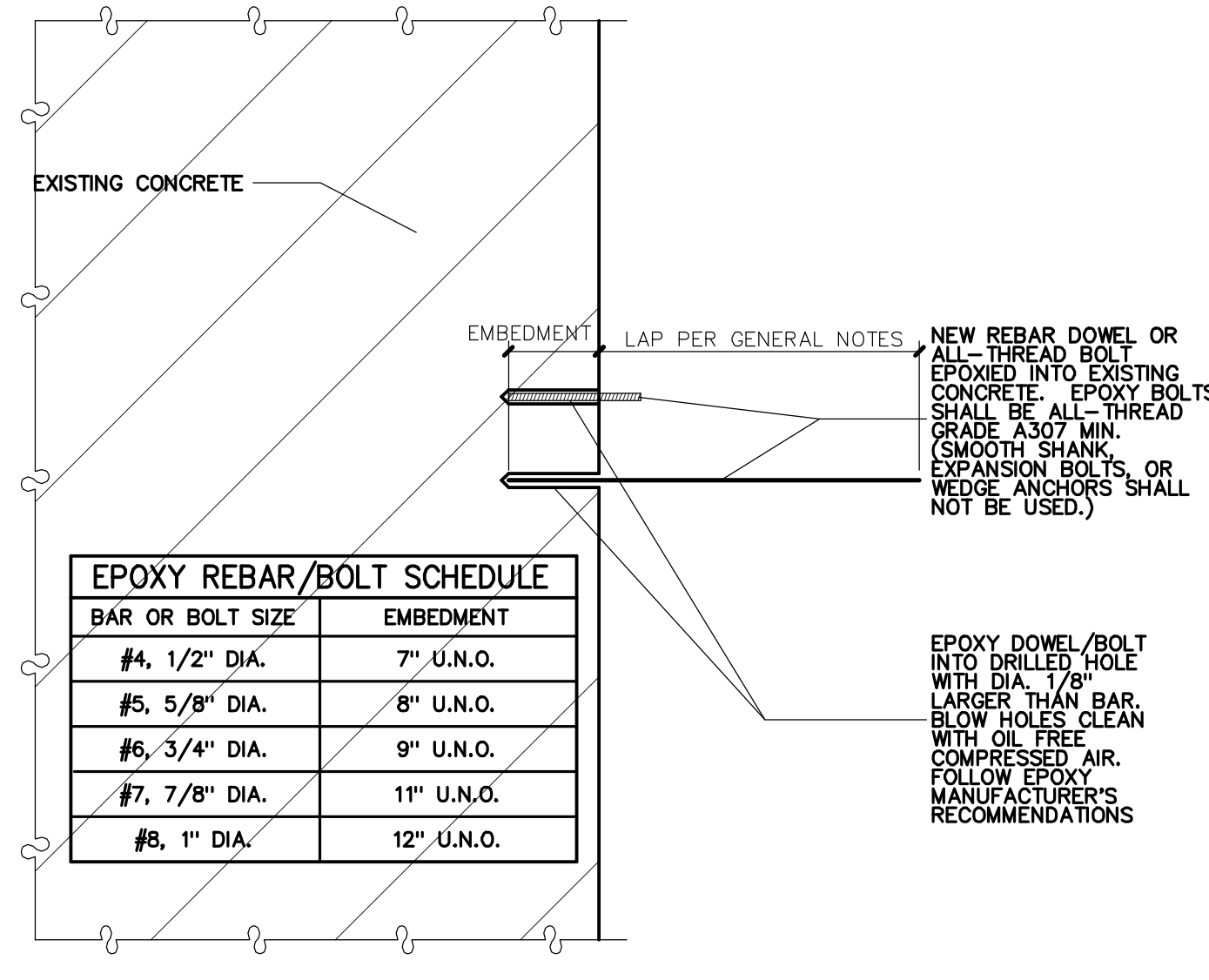
NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE PLAN SHEETS FOR REFERENCES TO DETAILS



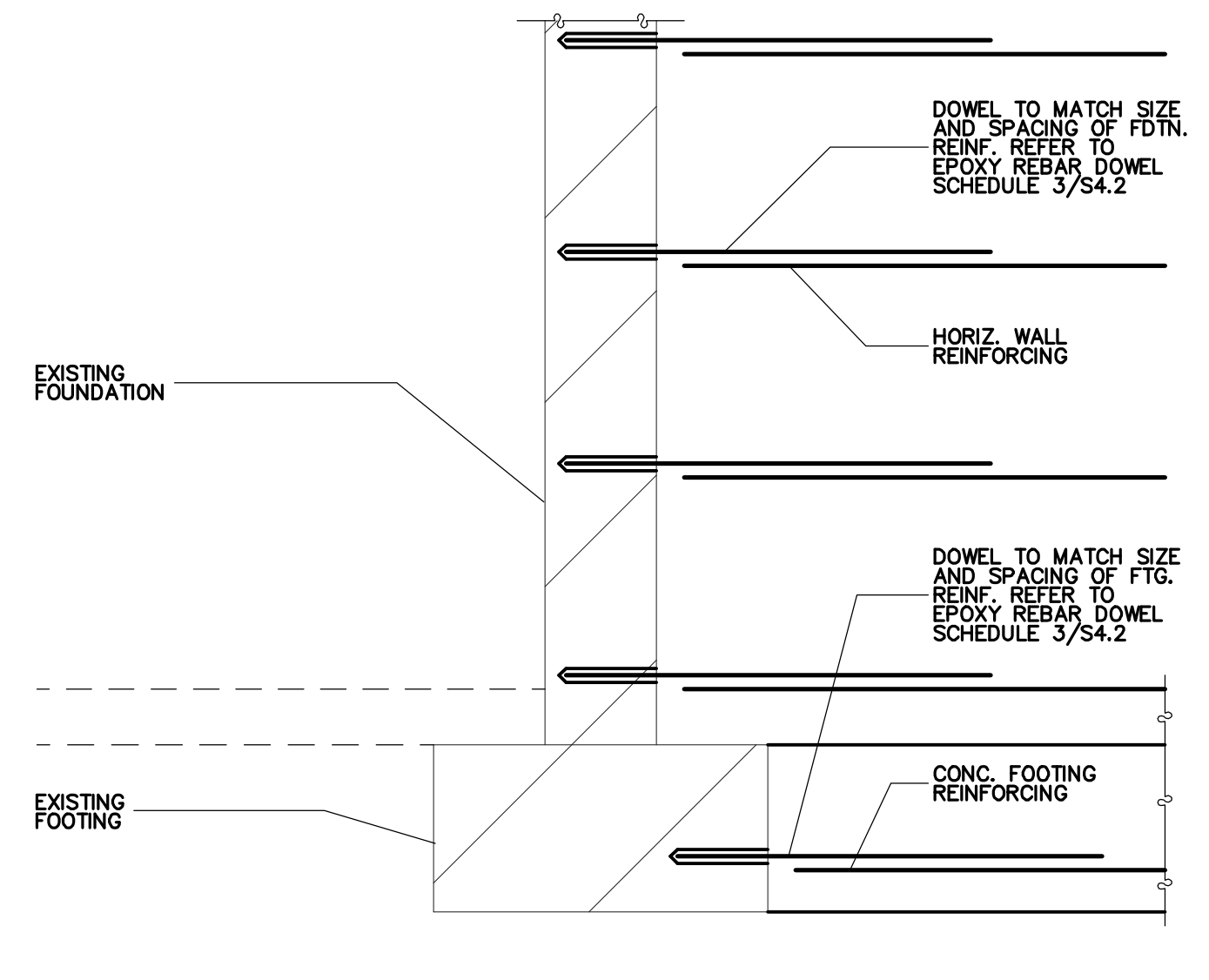
1 EXTERIOR STEEL POST ON CONC. FOOTING
NO SCALE
S4.2



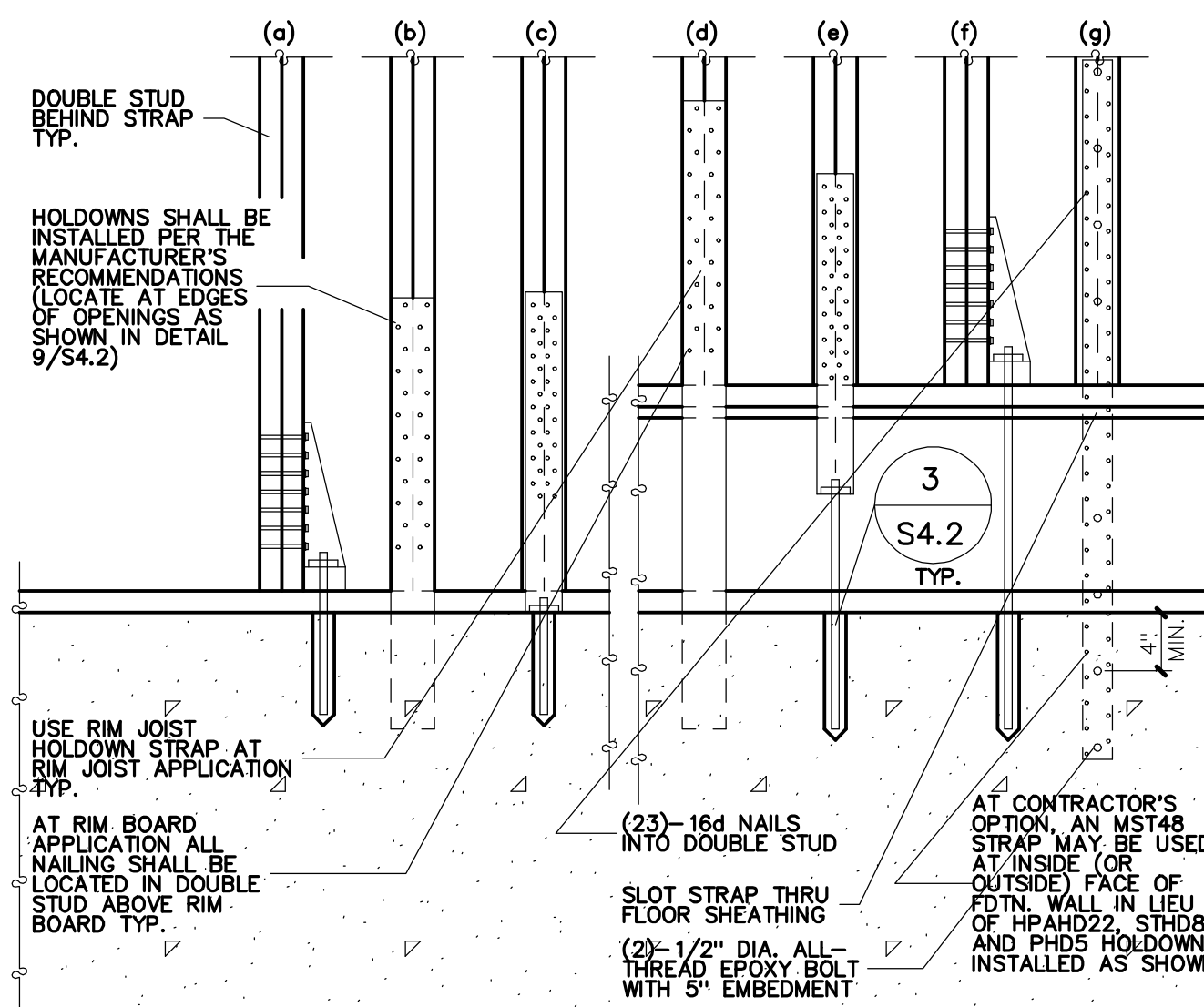
2 INTERIOR STEEL POST ON CONC. FOOTING
NO SCALE
S4.2



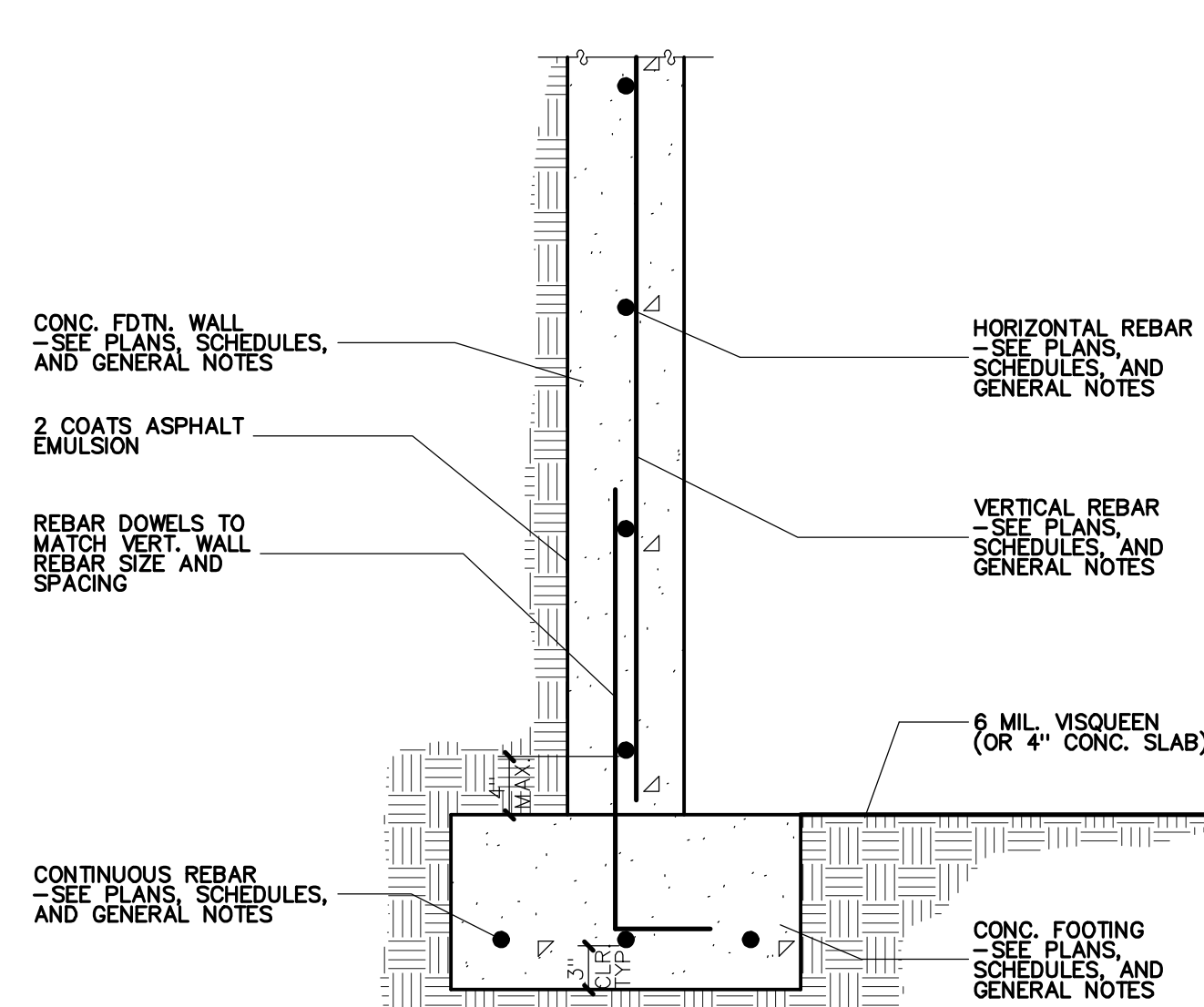
3 EPOXY REBAR/BOLT SCHEDULE
NO SCALE
S4.2



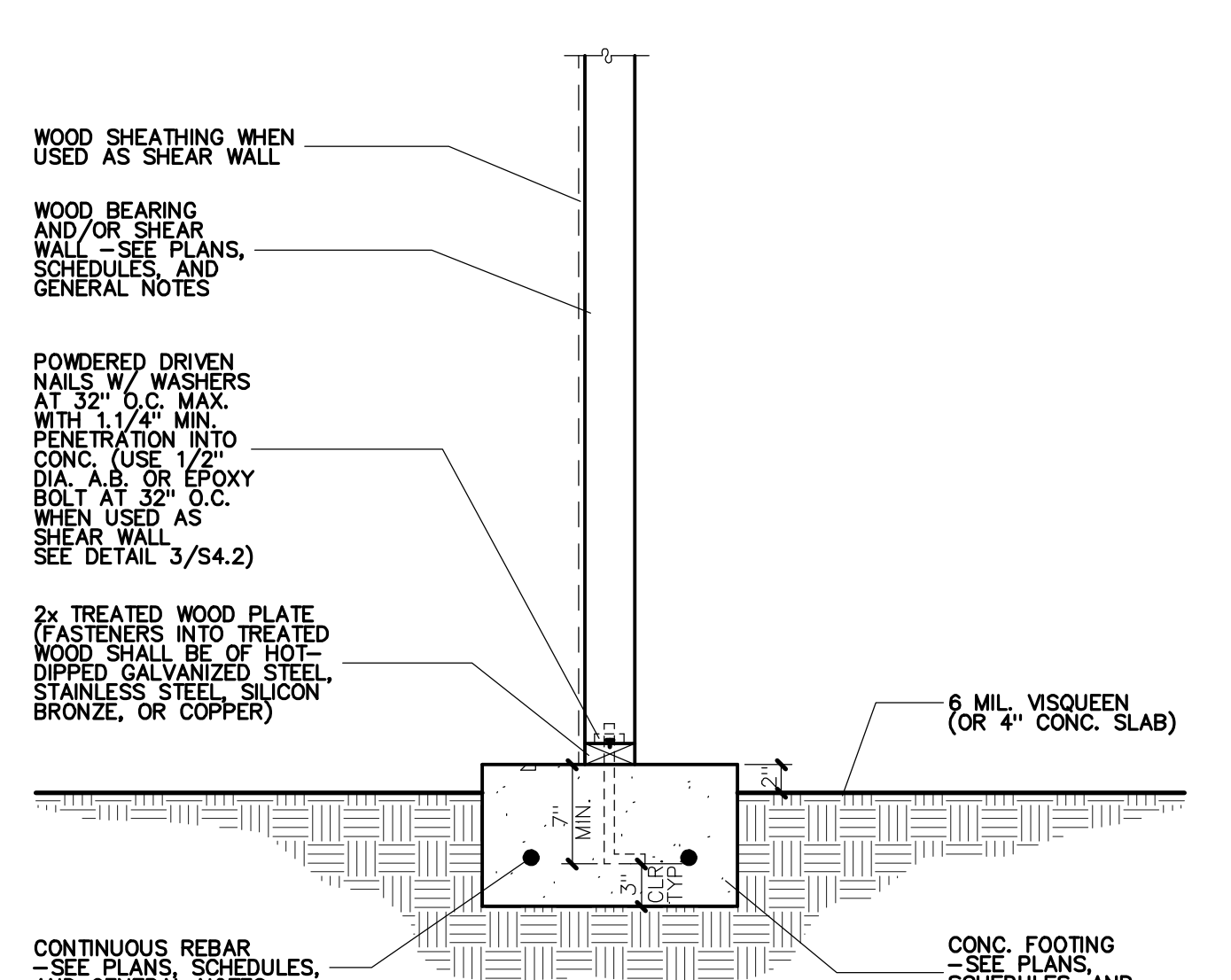
4 CONC. FDTN. WALL/FOOTING CONNECTION TO EXIST. CONC. FDTN. WALL/FOOTING
NO SCALE
S4.2



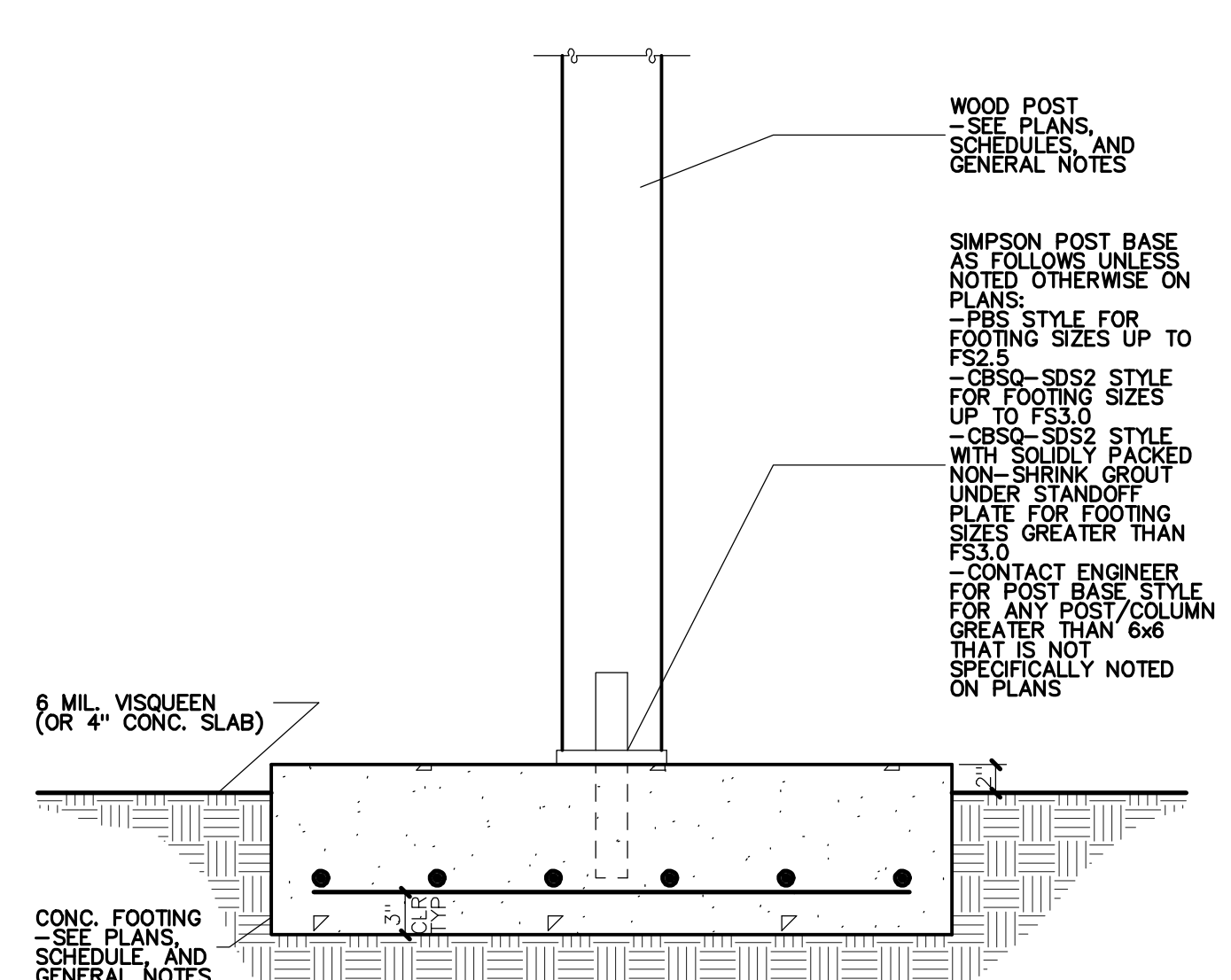
5 VARIOUS HOLDDOWN INSTALLATION CONFIGURATIONS
NO SCALE
S4.2



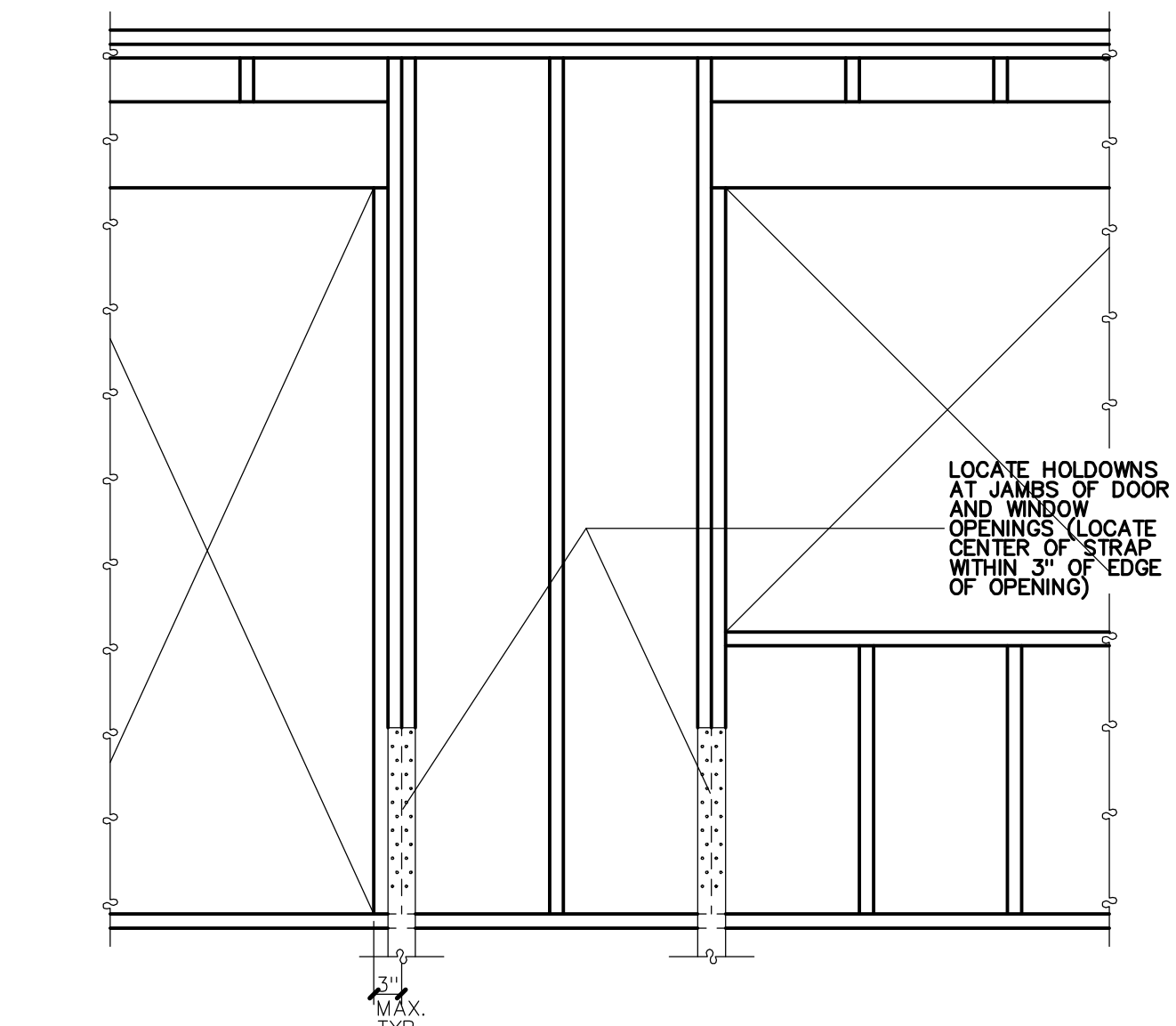
6 CRAWL SPACE CONC. FDTN. WALL ON CONC. FOOTING
NO SCALE
S4.2



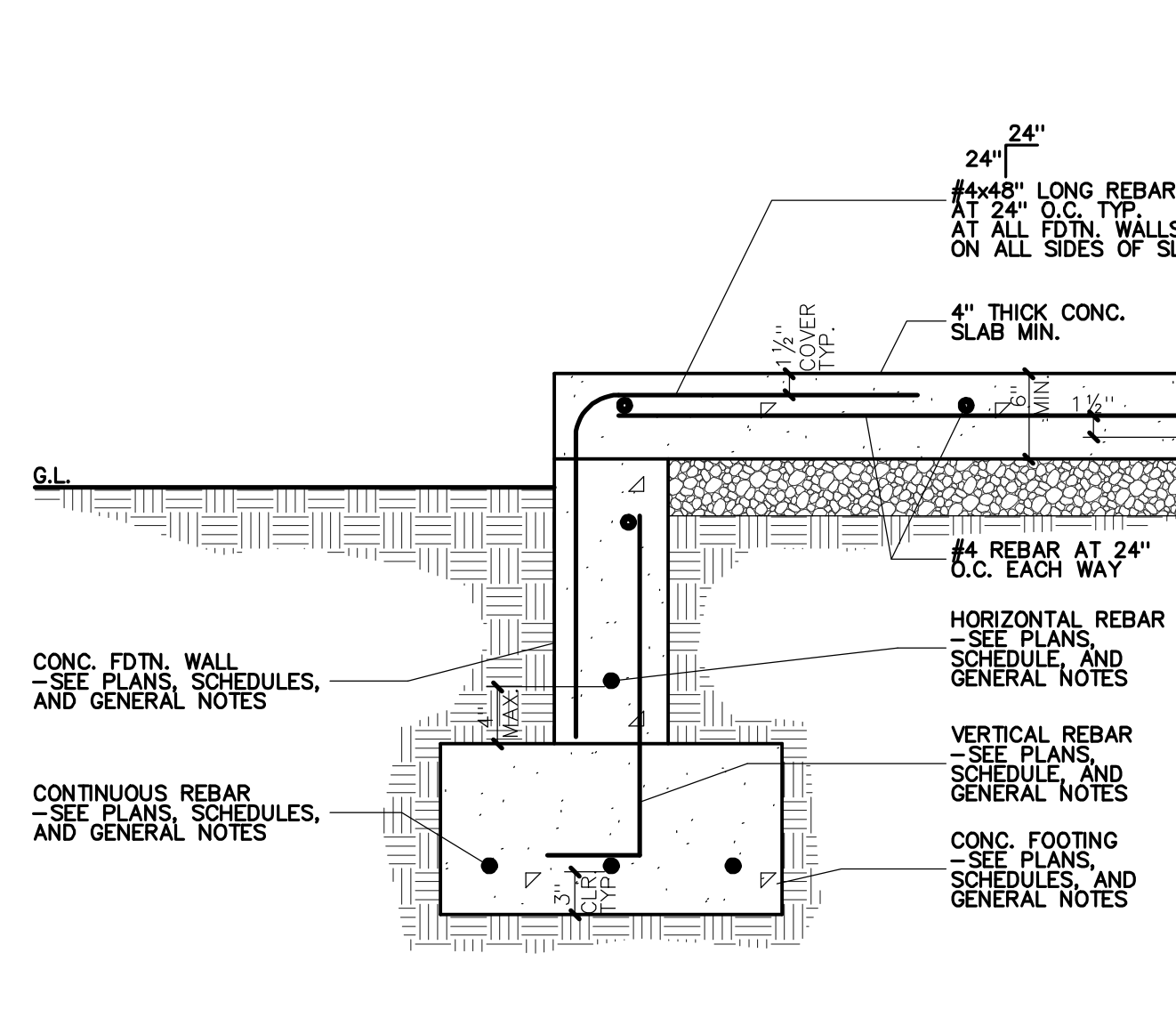
7 CRAWL SPACE INTERIOR BEARING AND/OR SHEAR WALL ON CONC. FOOTING
NO SCALE
S4.2



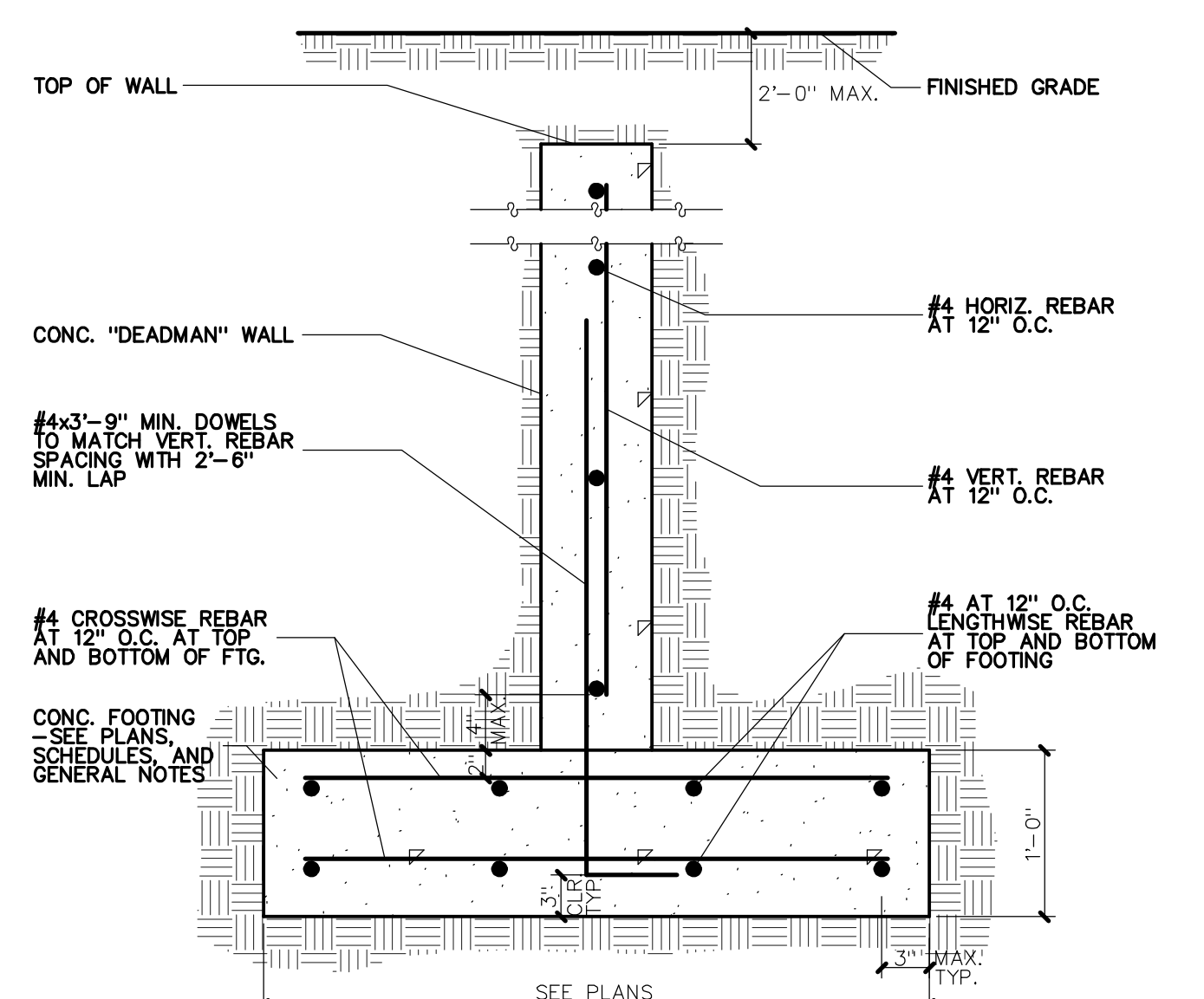
8 CRAWL SPACE INTERIOR WOOD POST ON CONC. FOOTING
NO SCALE
S4.2



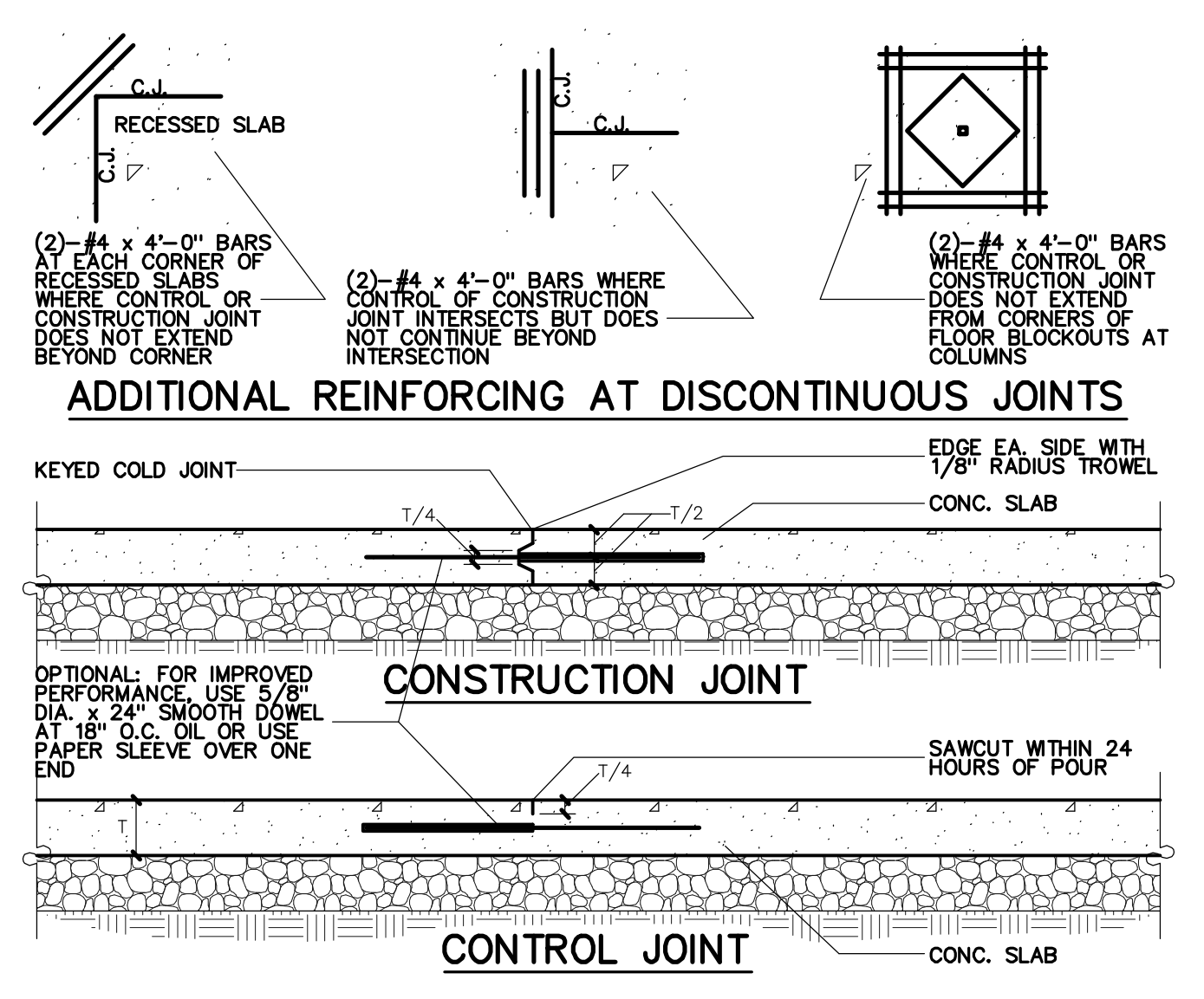
9 HOLDDOWN LOCATION
NO SCALE
S4.2



10 CONC. PORCH SLAB-ON-GRADE
NO SCALE
S4.2



11 FOOTING AT "DEADMAN" WALL
NO SCALE
S4.2

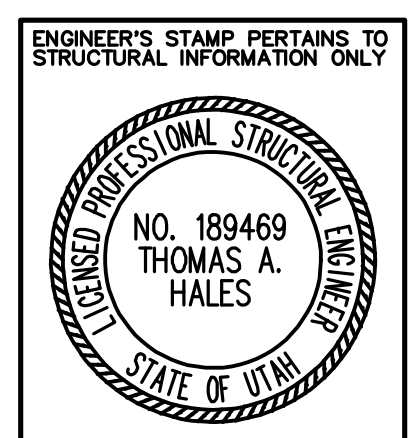


12 TYPICAL SLAB-ON-GRADE JOINTS
NO SCALE
S4.2

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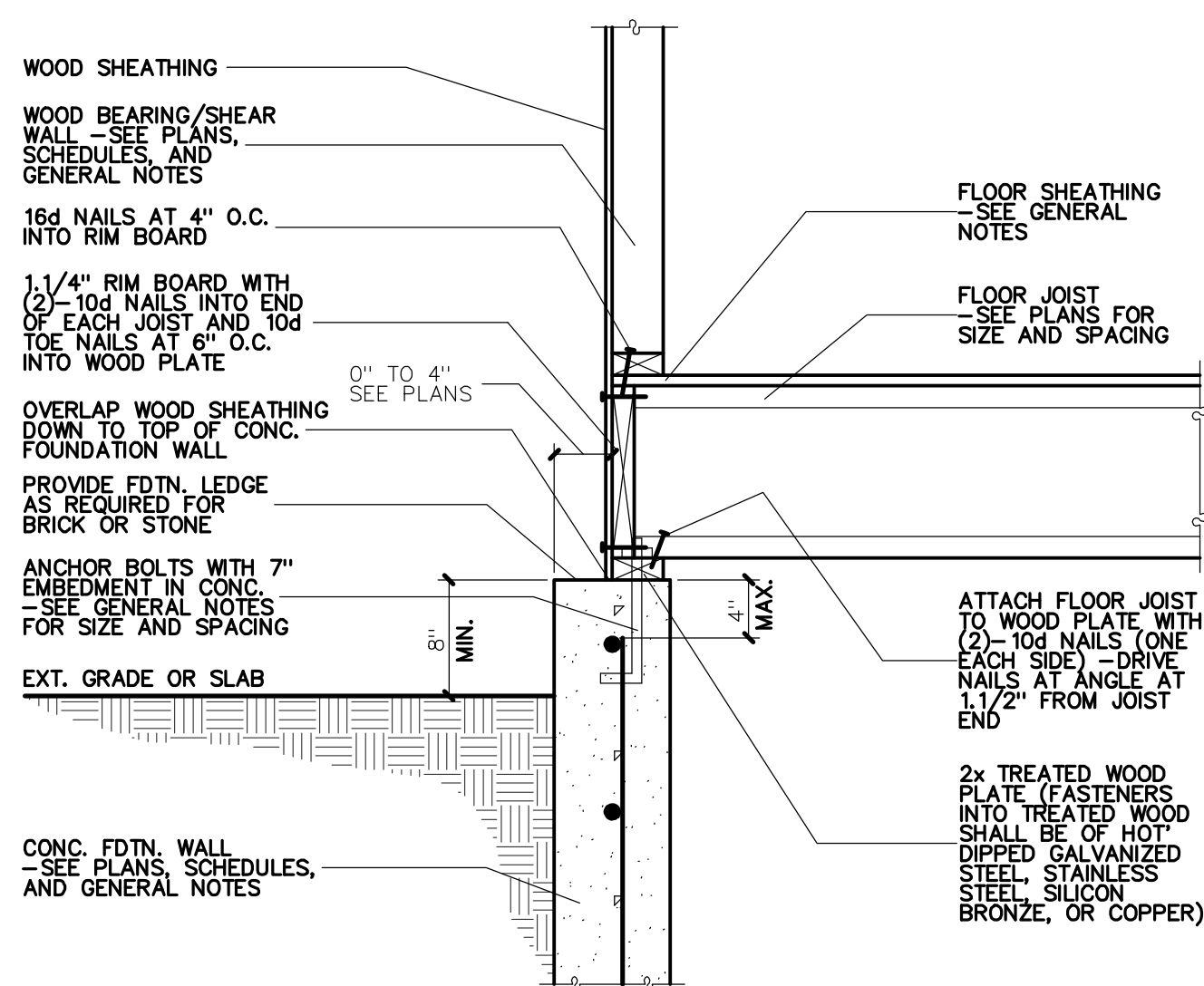
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OGDEN, UTAH 84414
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FOOTING AND FOUNDATION DETAILS
DRAWN: CWH
TYPE: ORIGINAL DRAWING
DATE: 11/20/2023
JOB NO.: 23069
PLAN NO.: 0-1-BB0/3-2-837-TWO-STORY

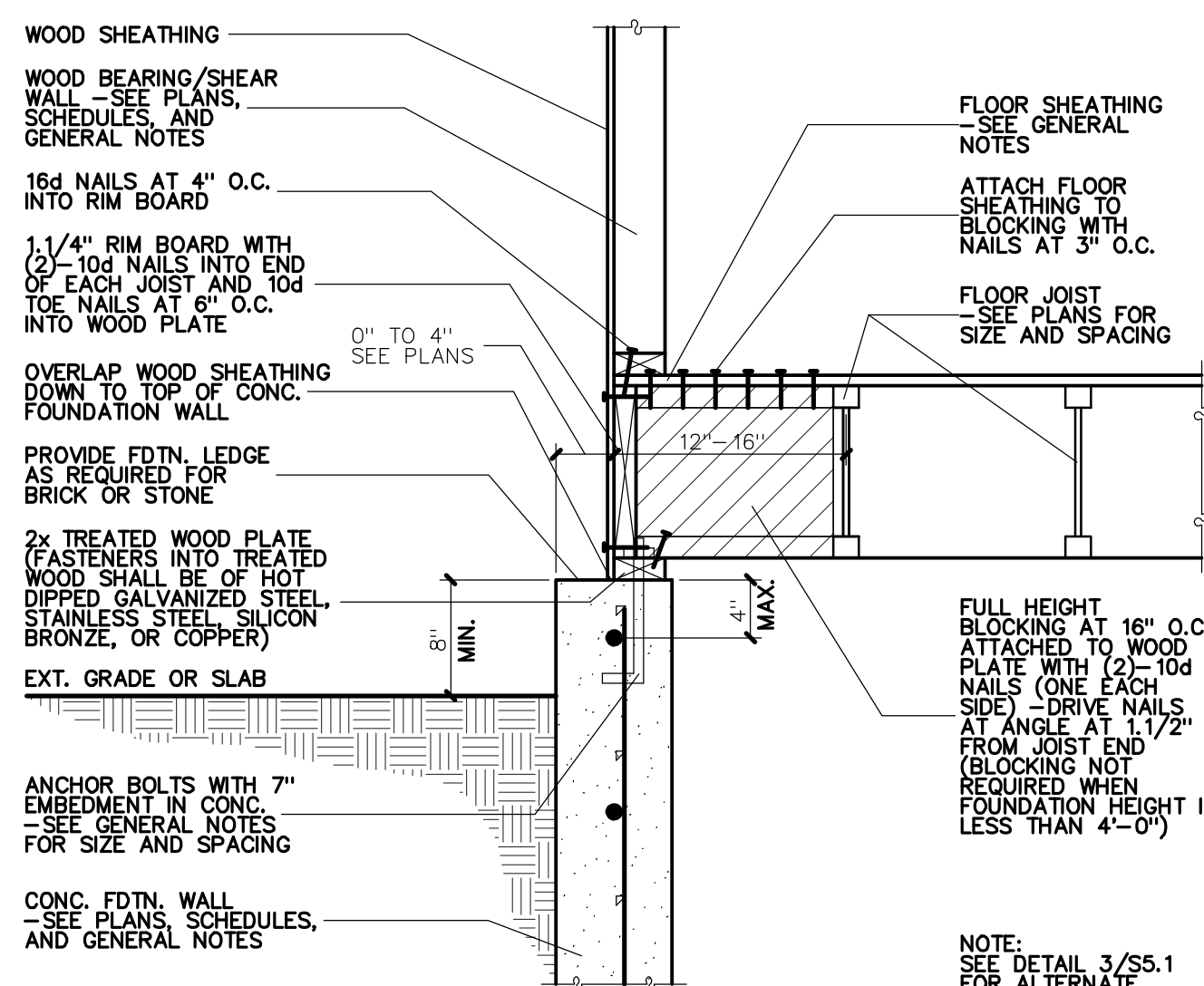
NO. 189469
THOMAS A. HALES
STATE OF UTAH

11/20/2023 3:42 PM

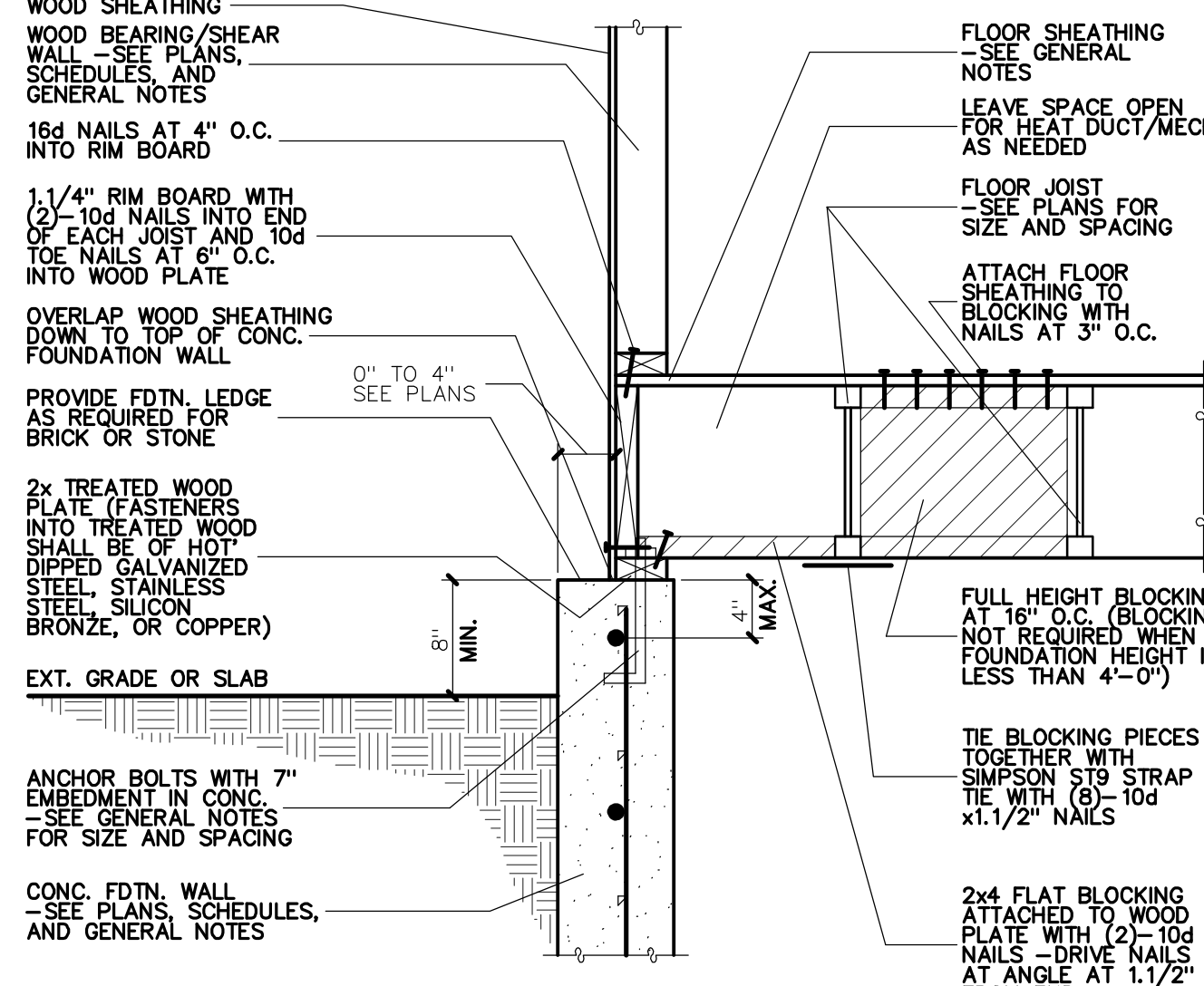
S4.2



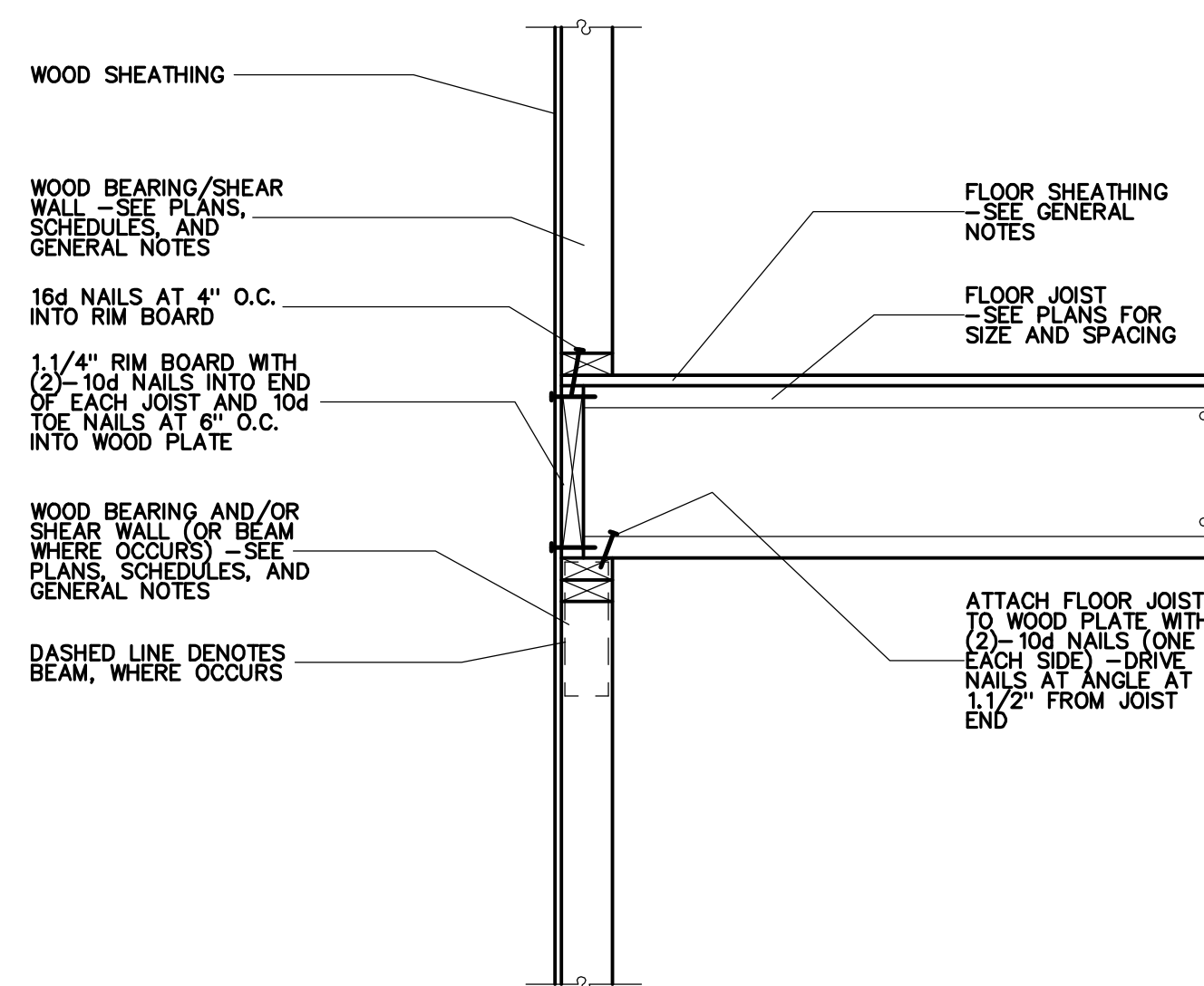
BEARING/SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO CONC. FDTN. WALL
NO SCALE



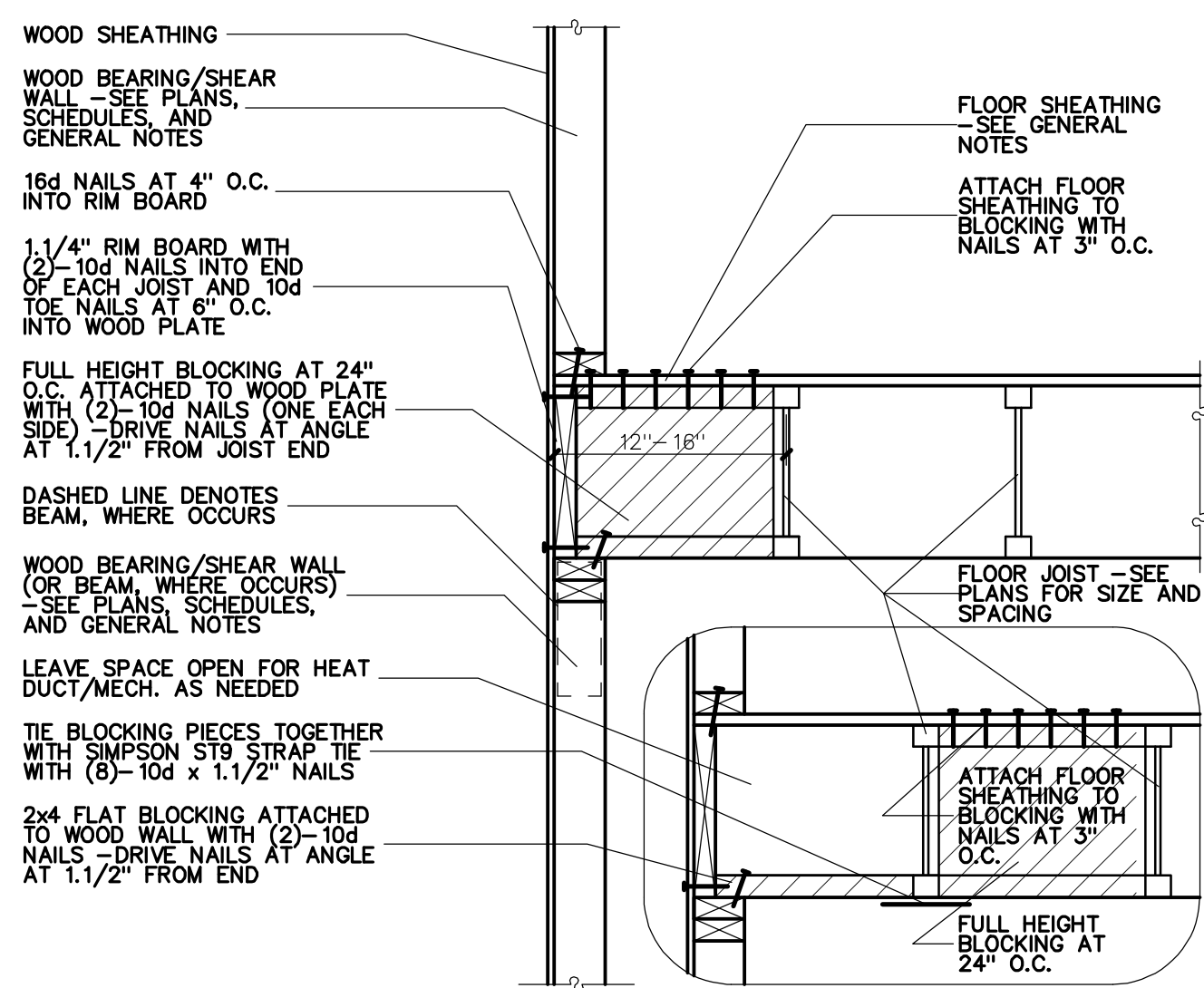
BEARING/SHEAR WALL WITH FLOOR JOISTS JOISTS PARALLEL TO CONC. FDTN. WALL
NO SCALE



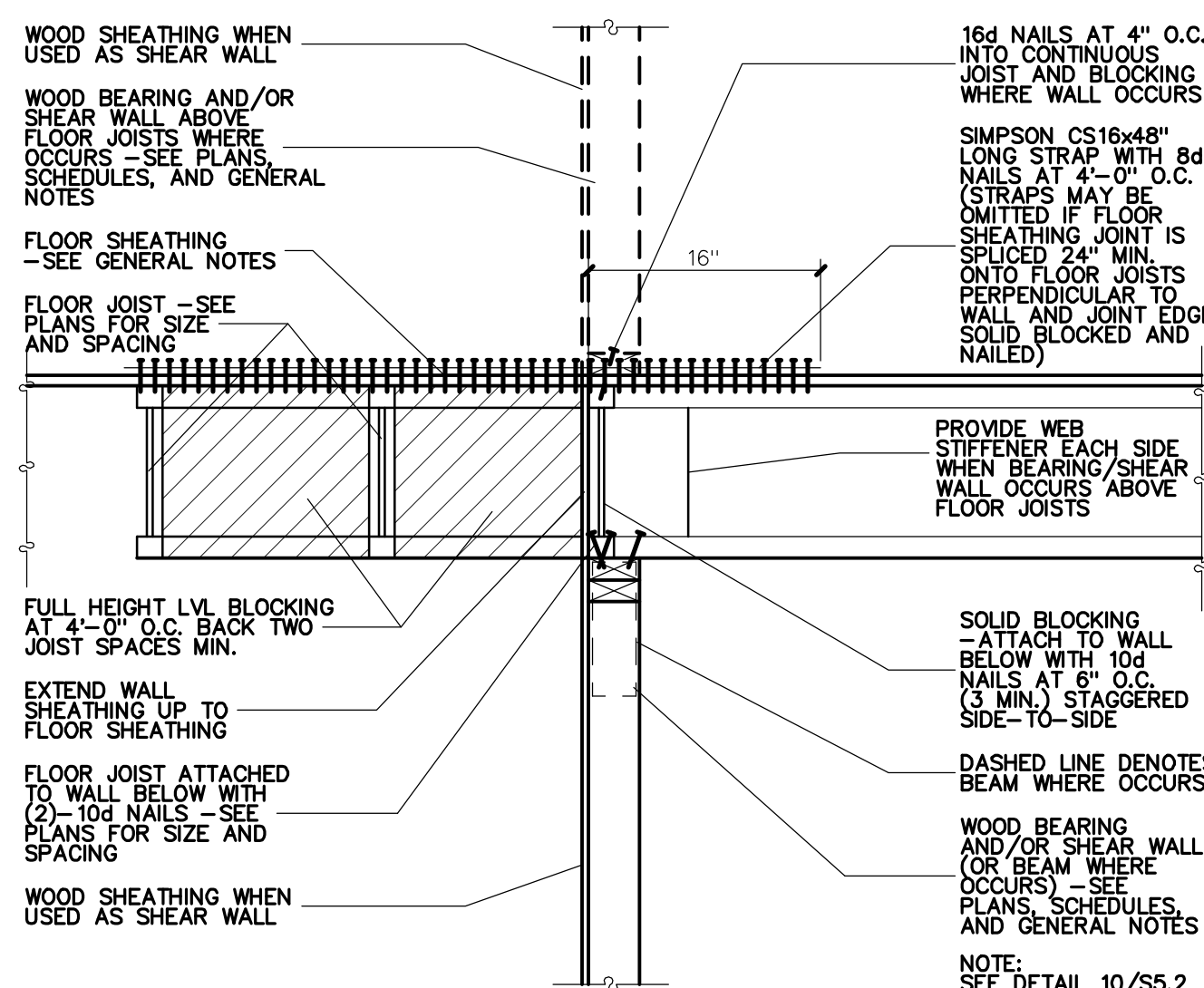
BEARING/SHEAR WALL WITH FLOOR JOISTS PARALLEL TO CONCRETE FOUNDATION WALL (ALTERNATE)
NO SCALE



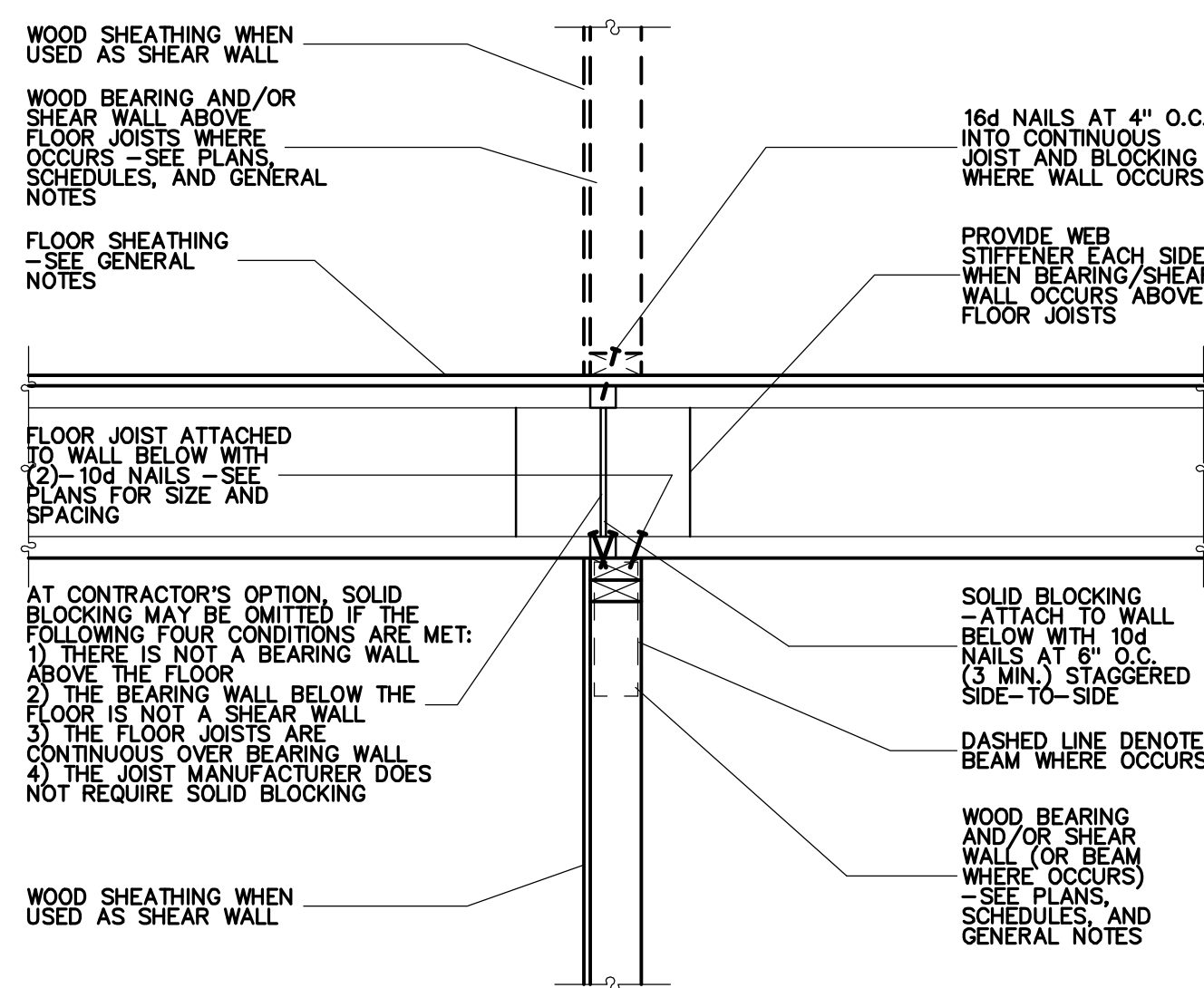
BEARING/SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO WOOD WALL
NO SCALE



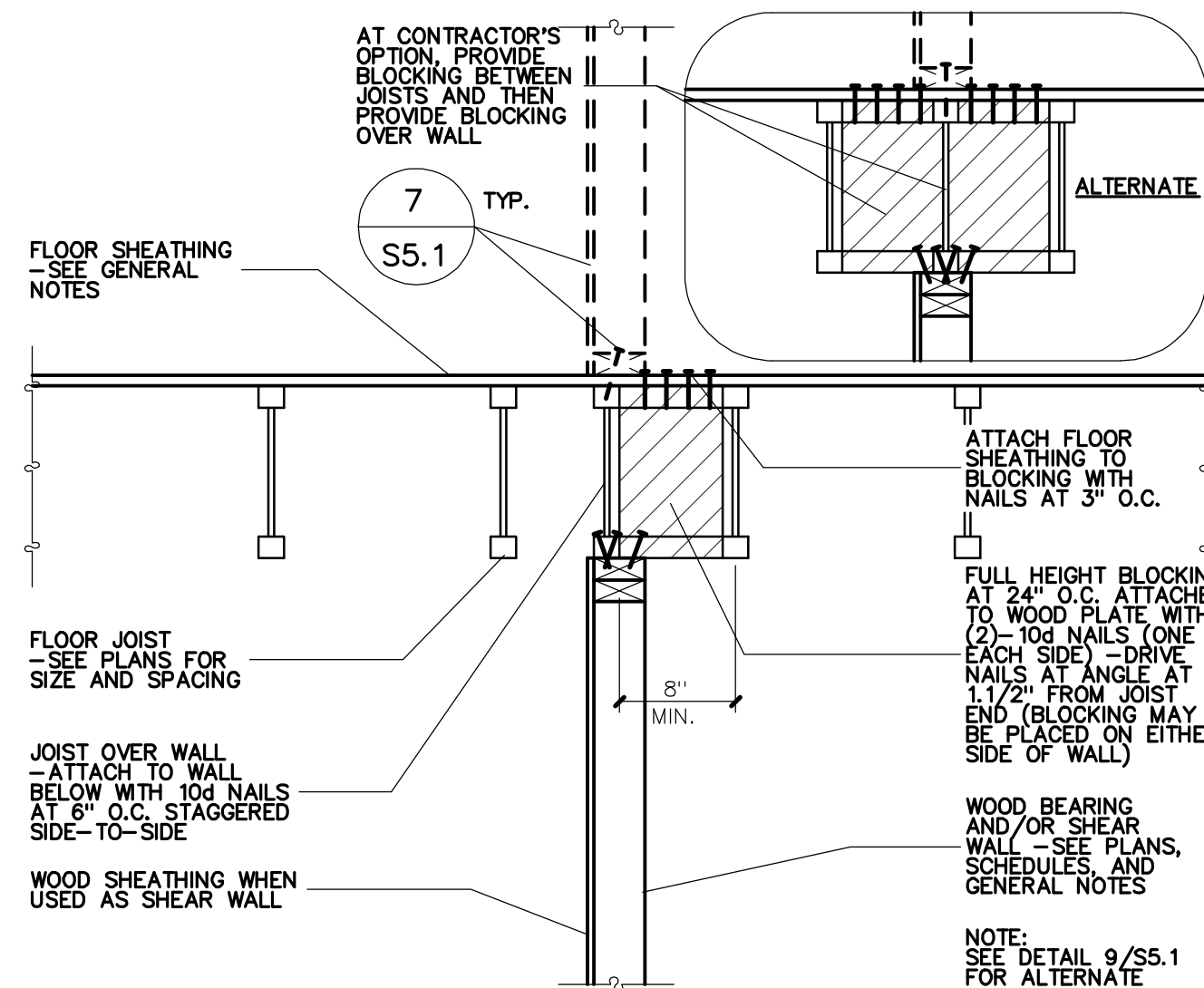
BEARING/SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WOOD WALL
NO SCALE



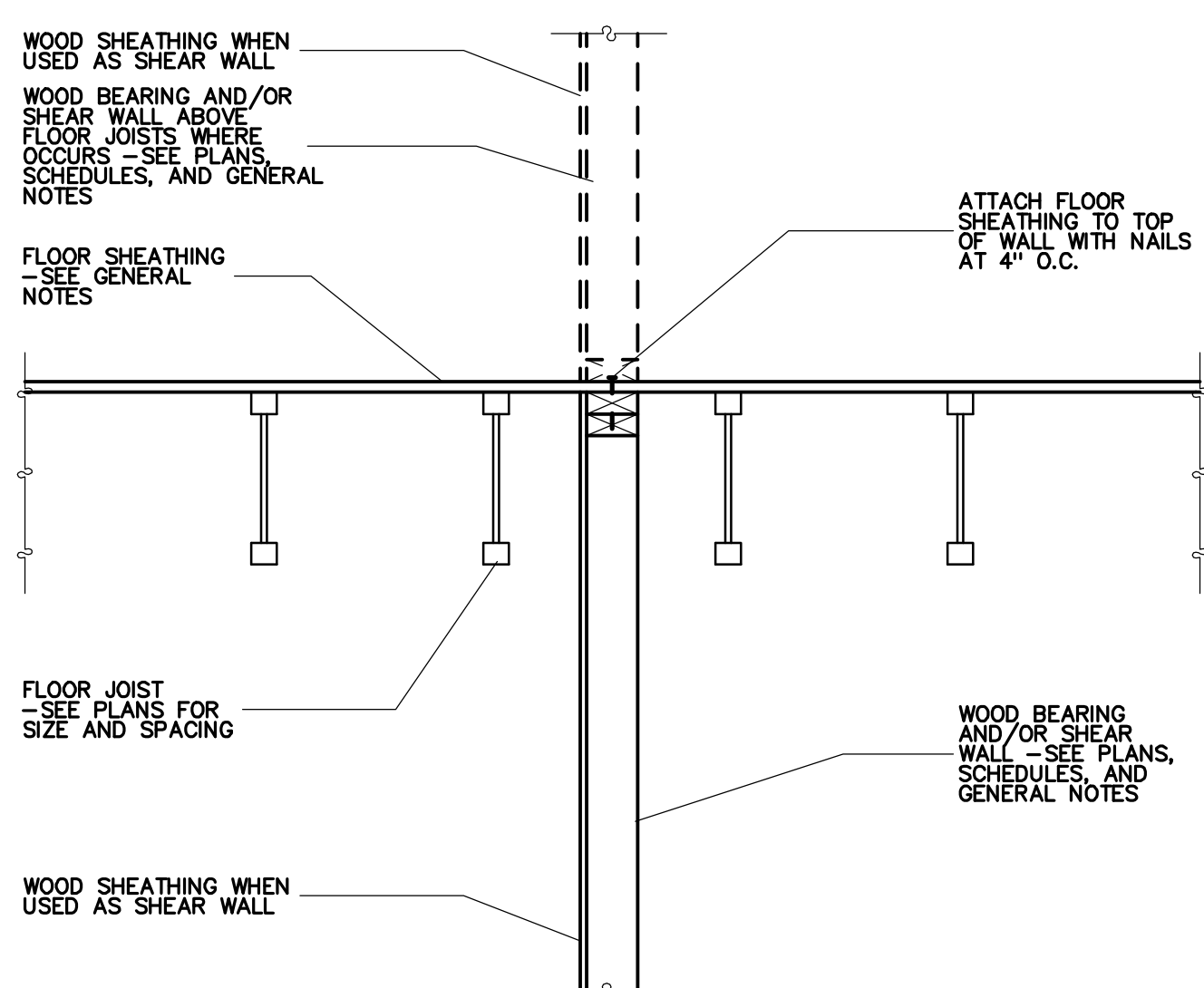
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR AND PARALLEL TO WALL
NO SCALE



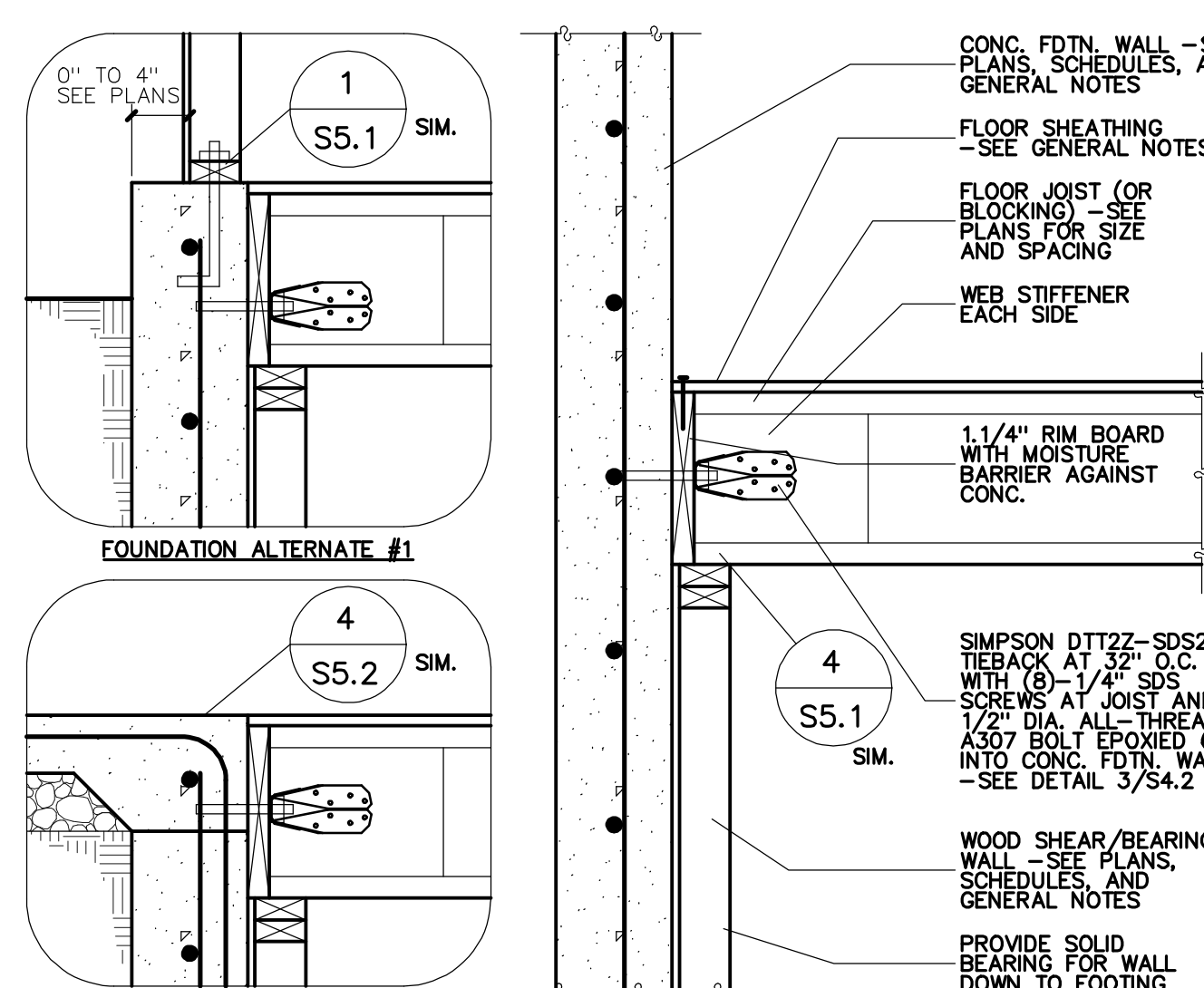
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO WALL
NO SCALE



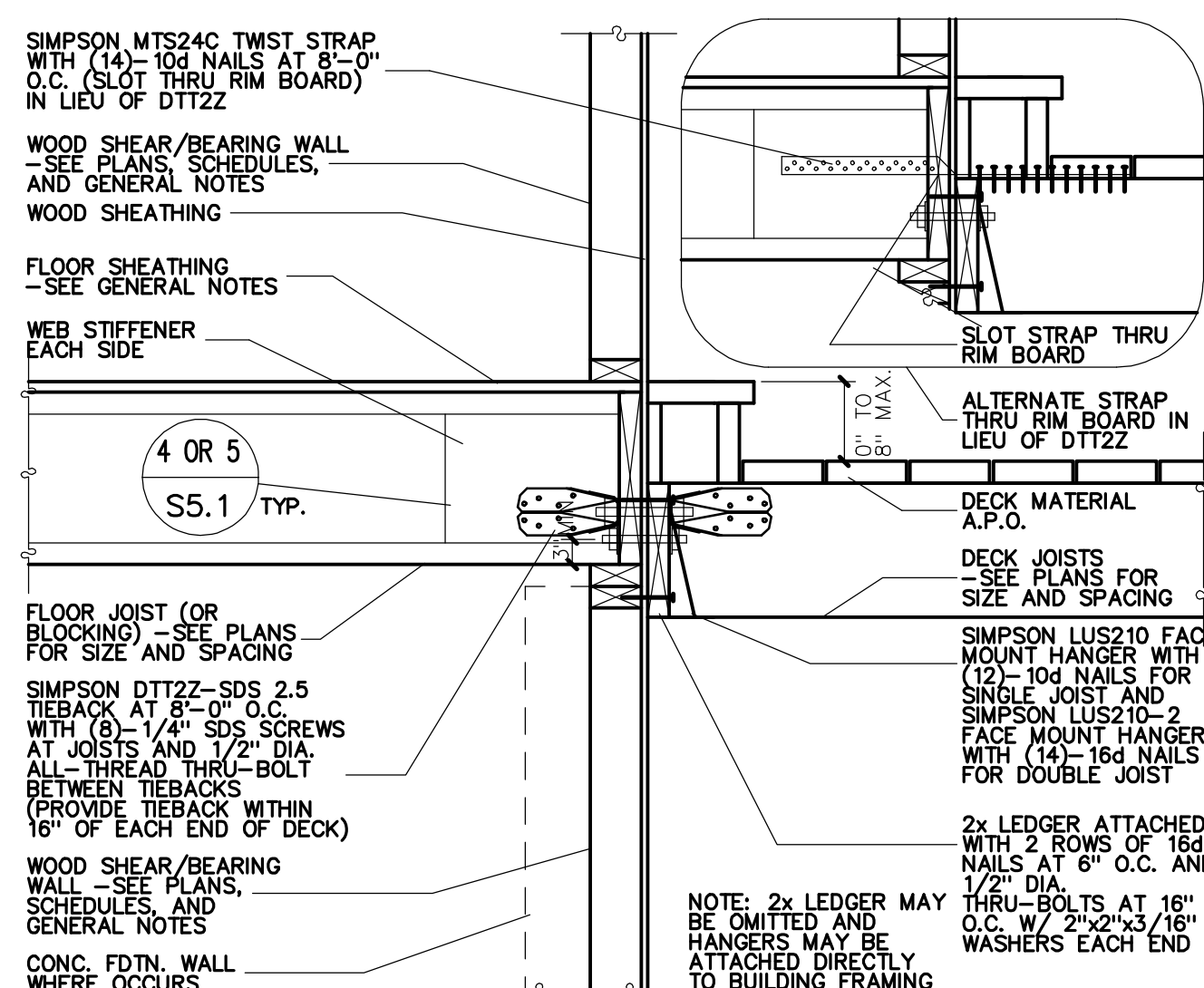
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WALL
NO SCALE



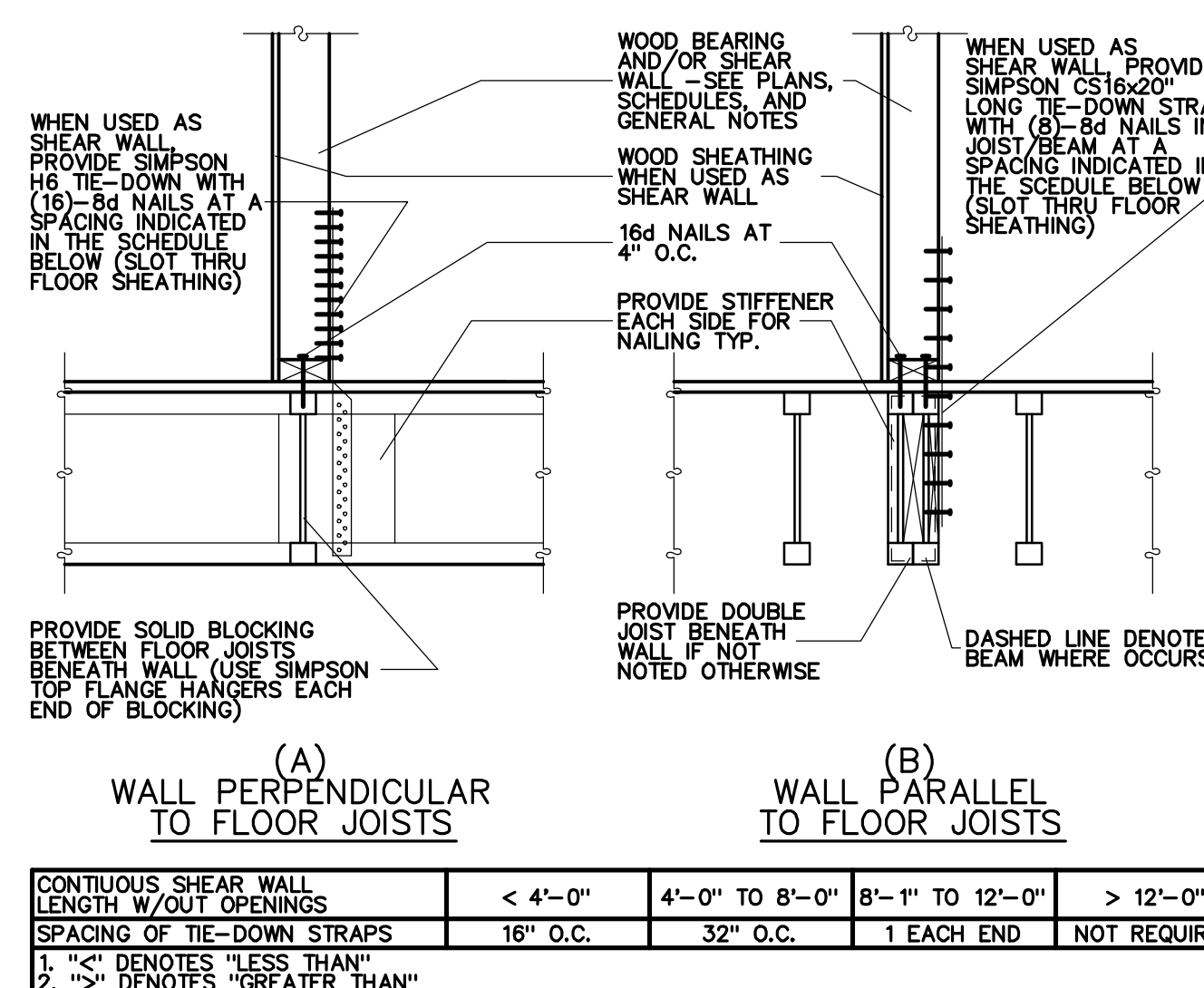
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WALL
NO SCALE



FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE

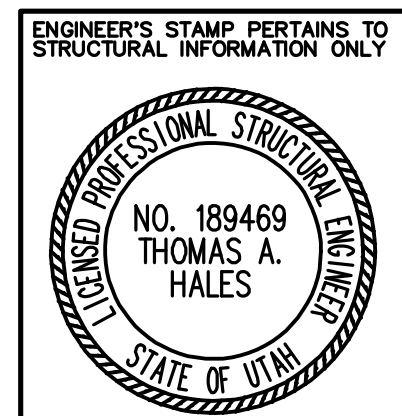


DECK FRAMING TIE-BACK AT EXTERIOR WALL
NO SCALE



BEARING AND/OR SHEAR WALL WITHOUT BEARING AND/OR SHEAR WALL DIRECTLY BELOW
NO SCALE

CONTINUOUS SHEAR WALL LENGTH W/O/UT OPENINGS	< 4'-0"	4'-0" TO 8'-0"	8'-1" TO 12'-0"	> 12'-0"
SPACING OF TIE-DOWN STRAPS	16" O.C.	32" O.C.	1 EACH END	NOT REQUIRED
1. "C" DENOTES "LESS THAN"				
2. "G" DENOTES "GREATER THAN"				



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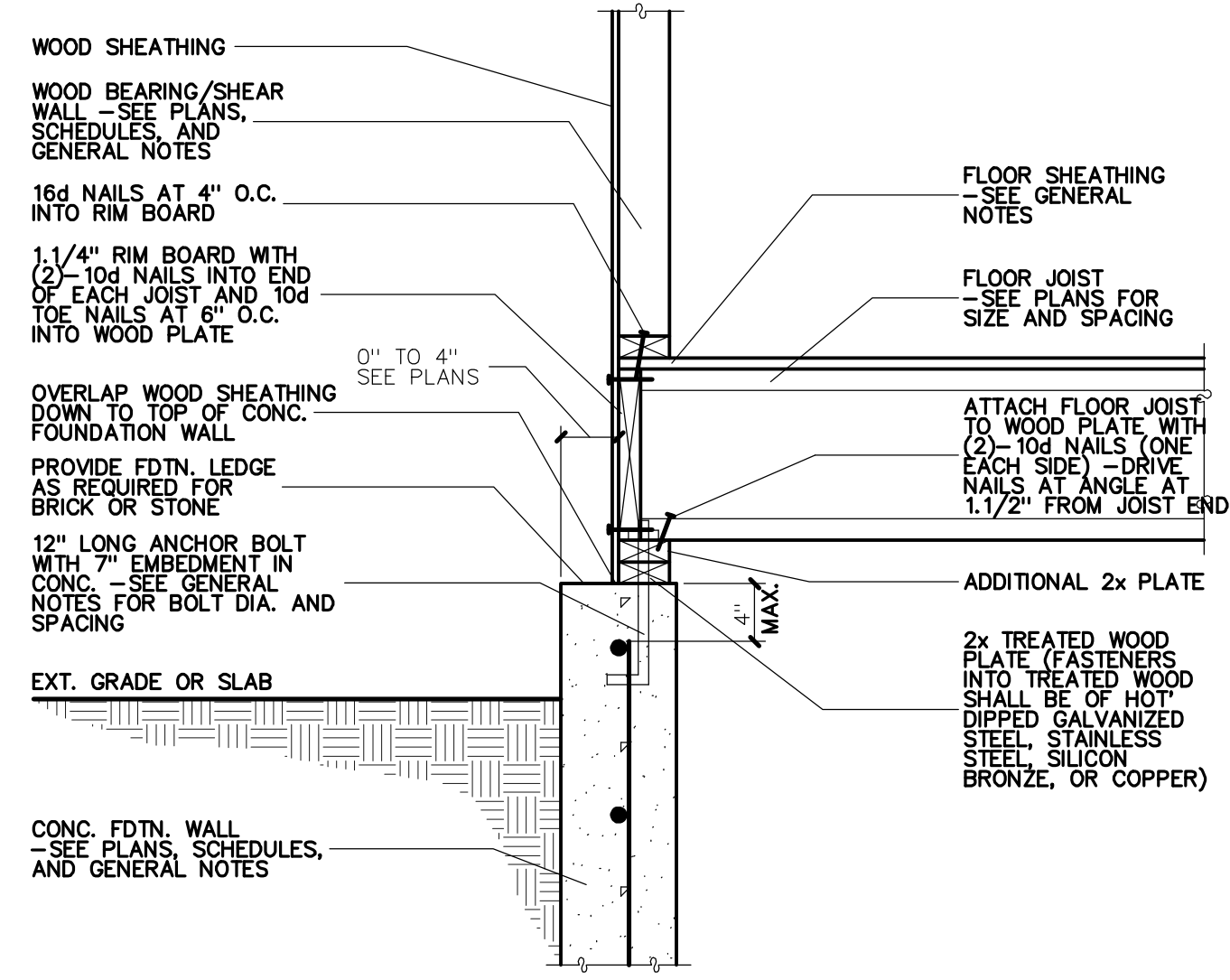
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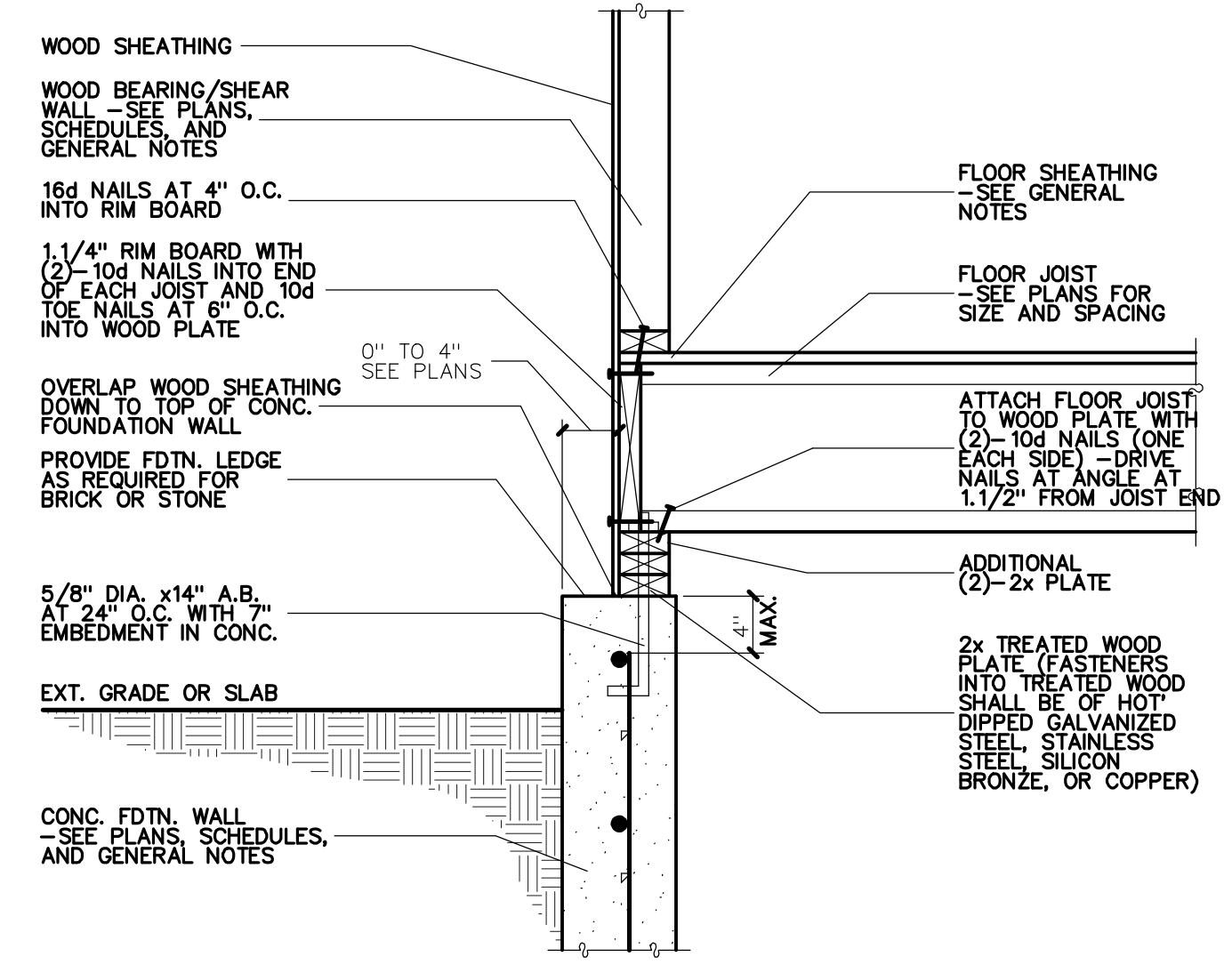
FLOOR FRAMING DETAILS
DRAWN: CWH
TYPE: ORIGINAL DRAWING
DATE: 11/20/2023
JOB NO.: 23069
PLAN NO.: 0-1-BB0/3-2-837-TWO-STORY

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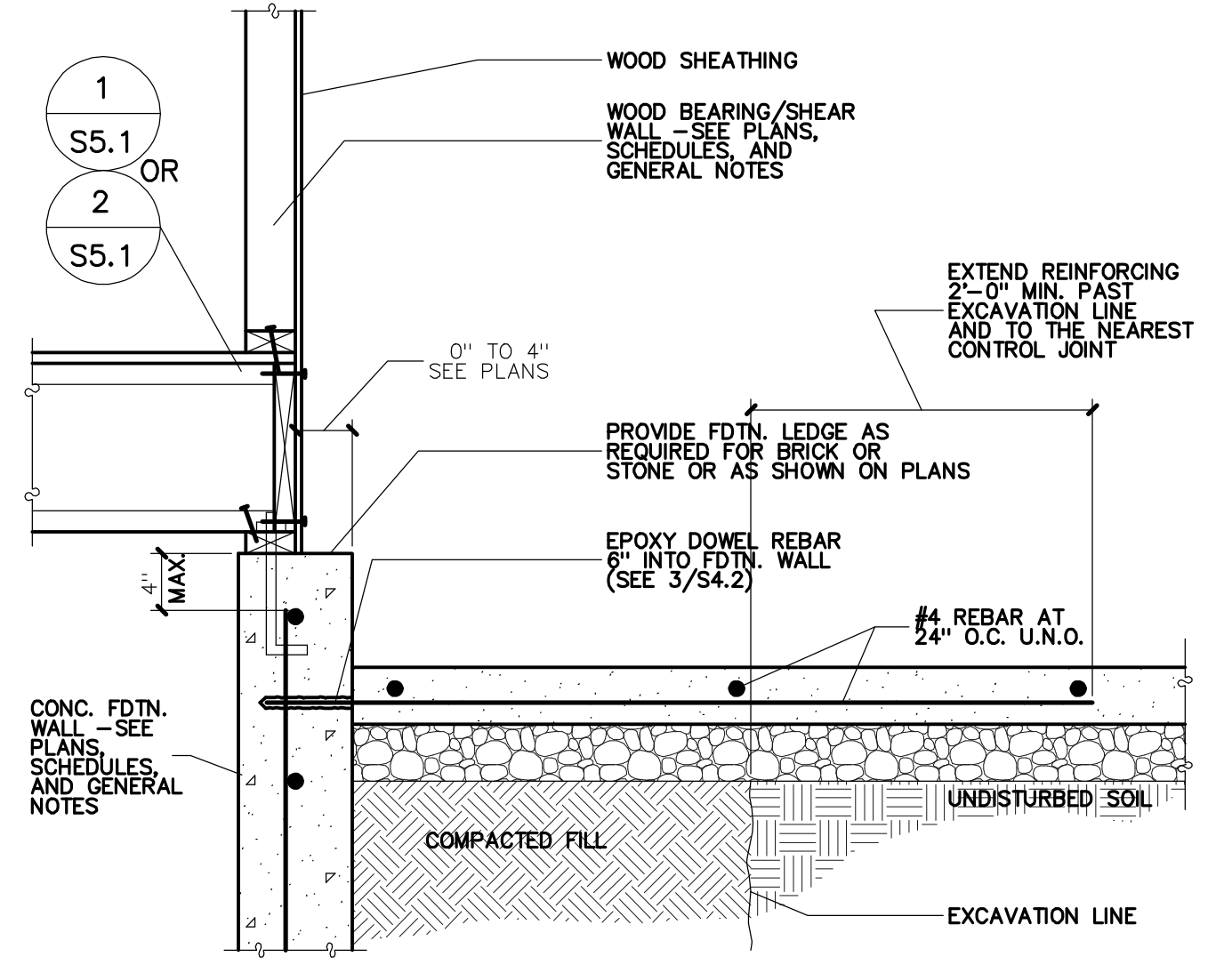
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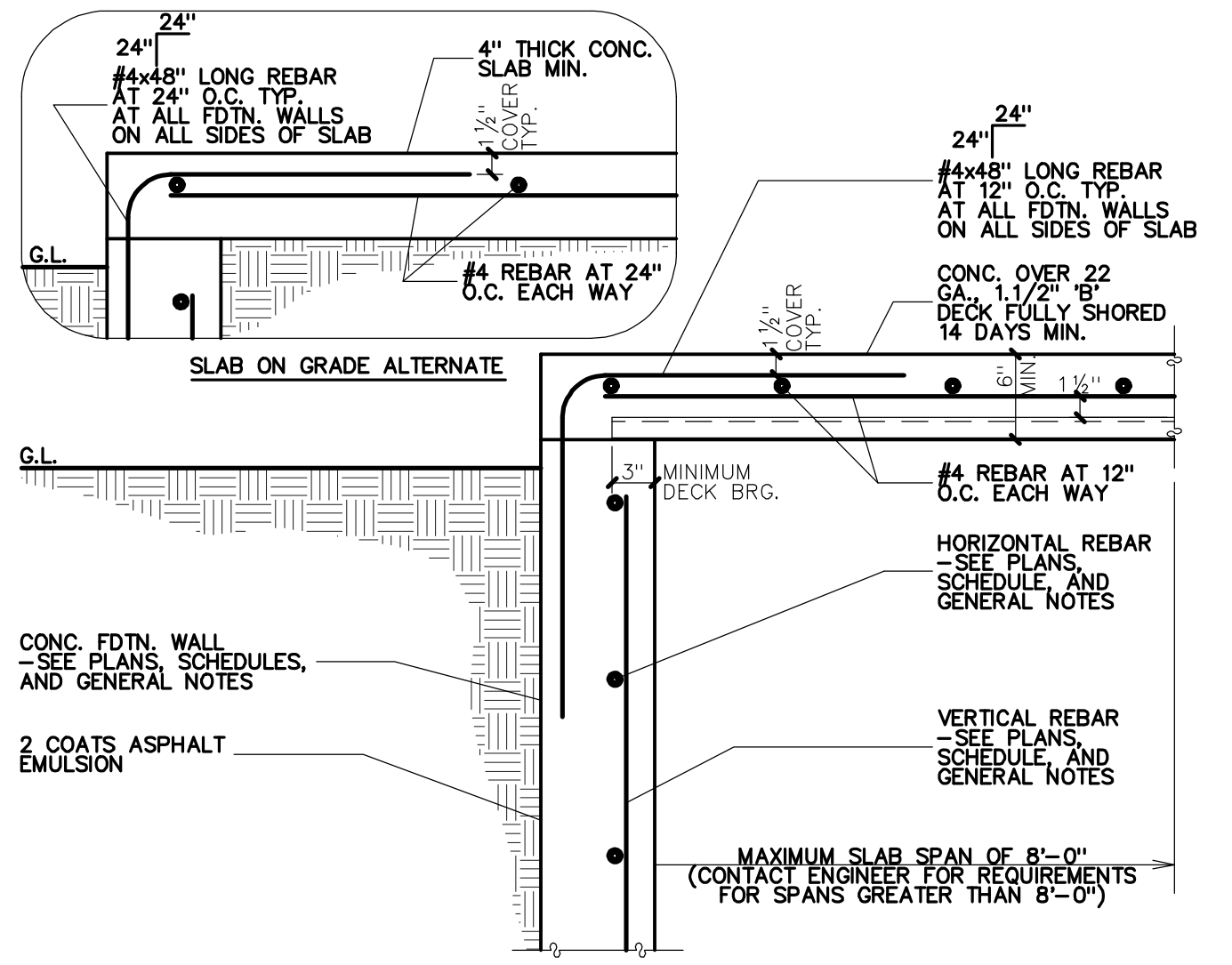
1
S5.2
FDN. WALL WITH DOUBLE PLATE OPTION
NO SCALE



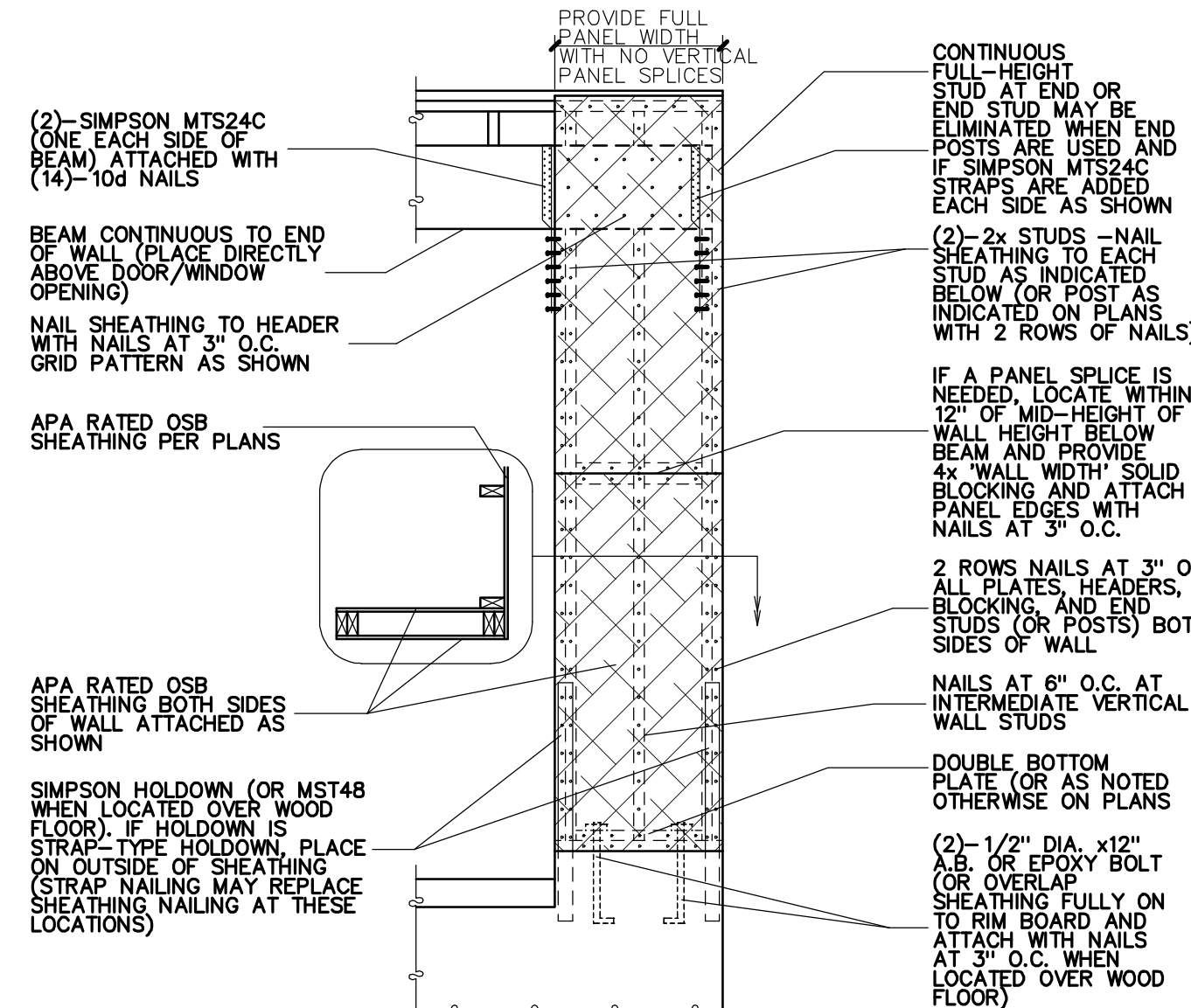
2
S5.2
FDN. WALL WITH TRIPLE PLATE OPTION
NO SCALE



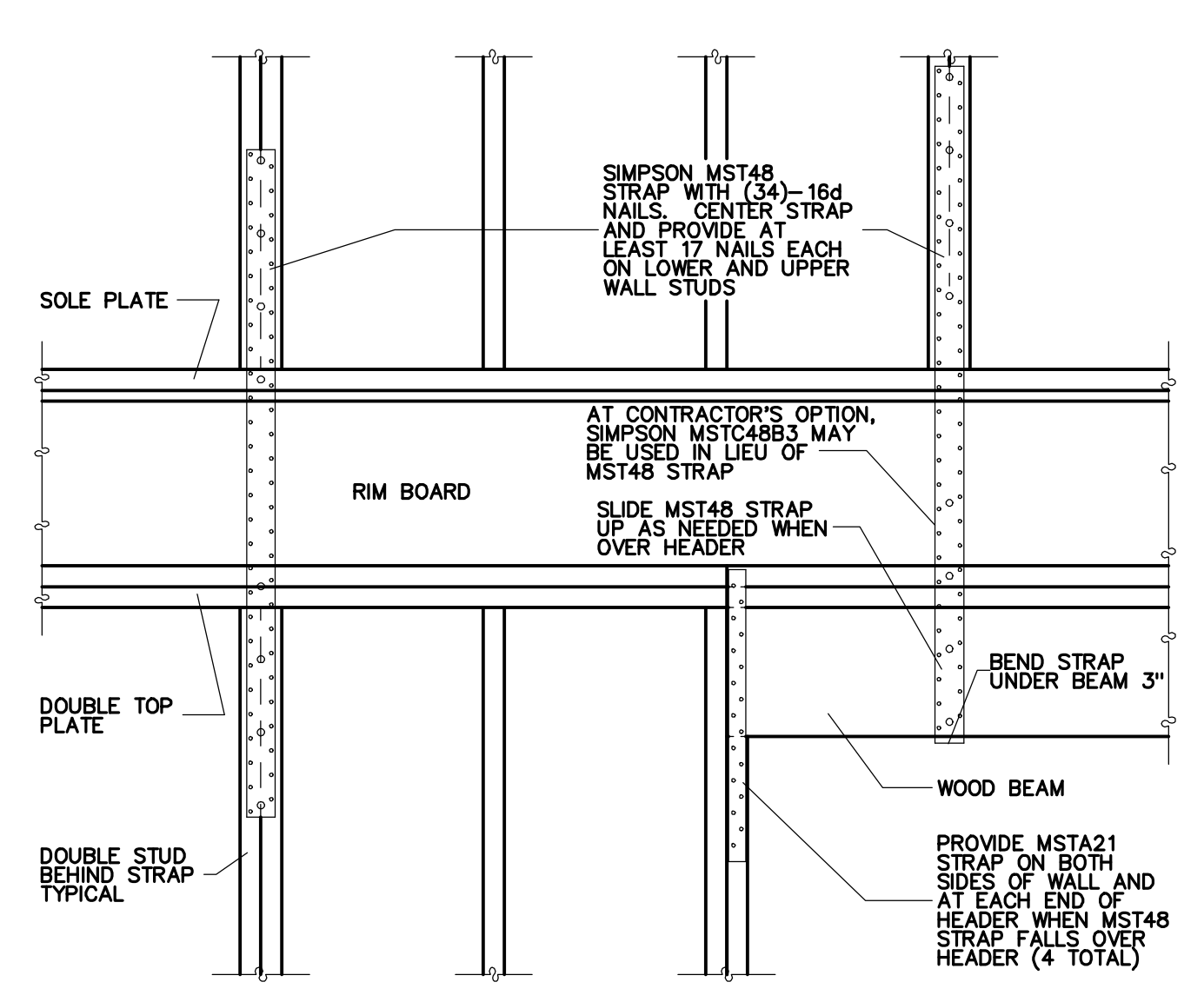
3
S5.2
REBAR DOWELS FOR CONC. SLAB AT CONC. FDN.
NO SCALE



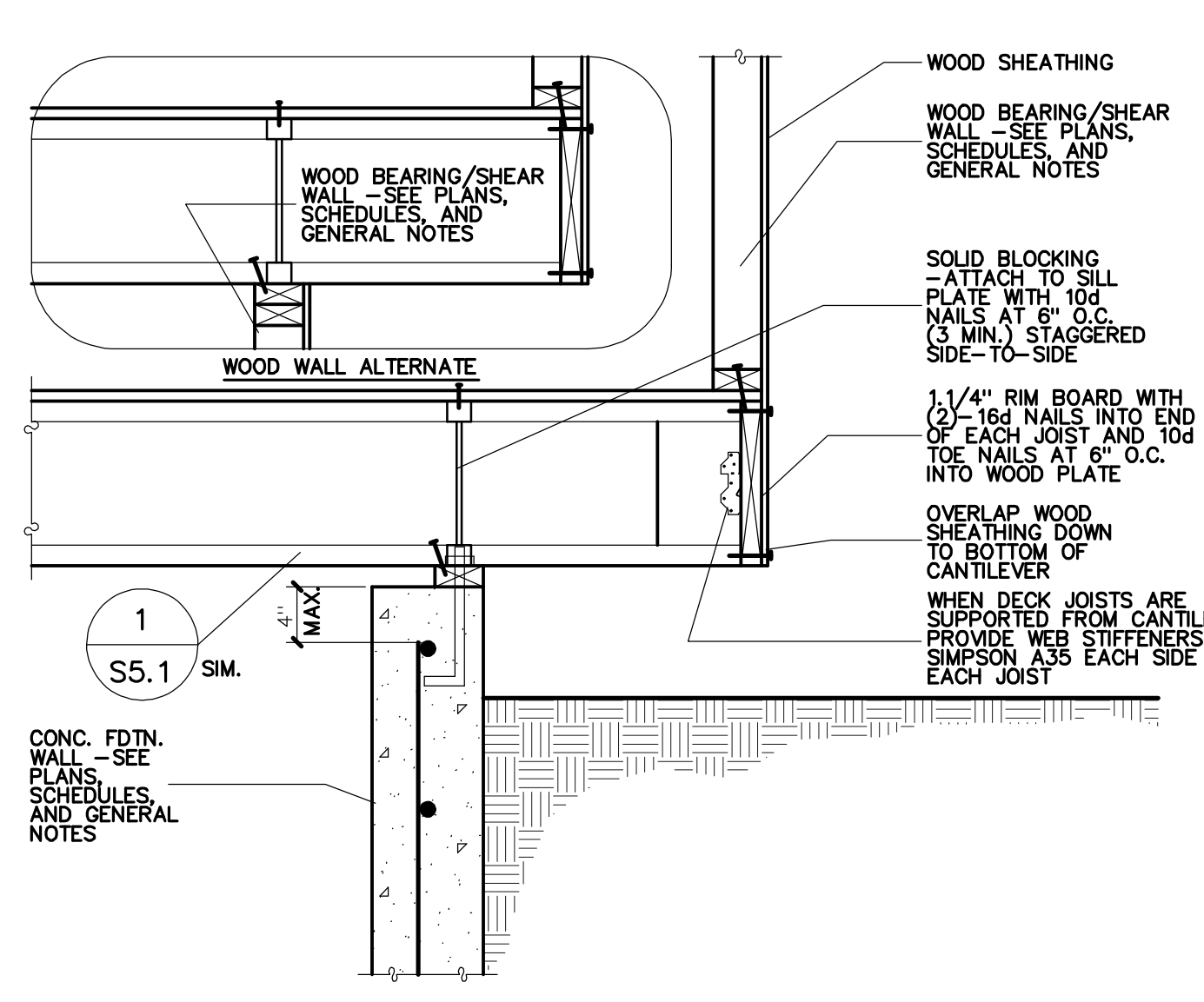
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S5.2
CONC. PORCH SUSPENDED SLAB
NO SCALE



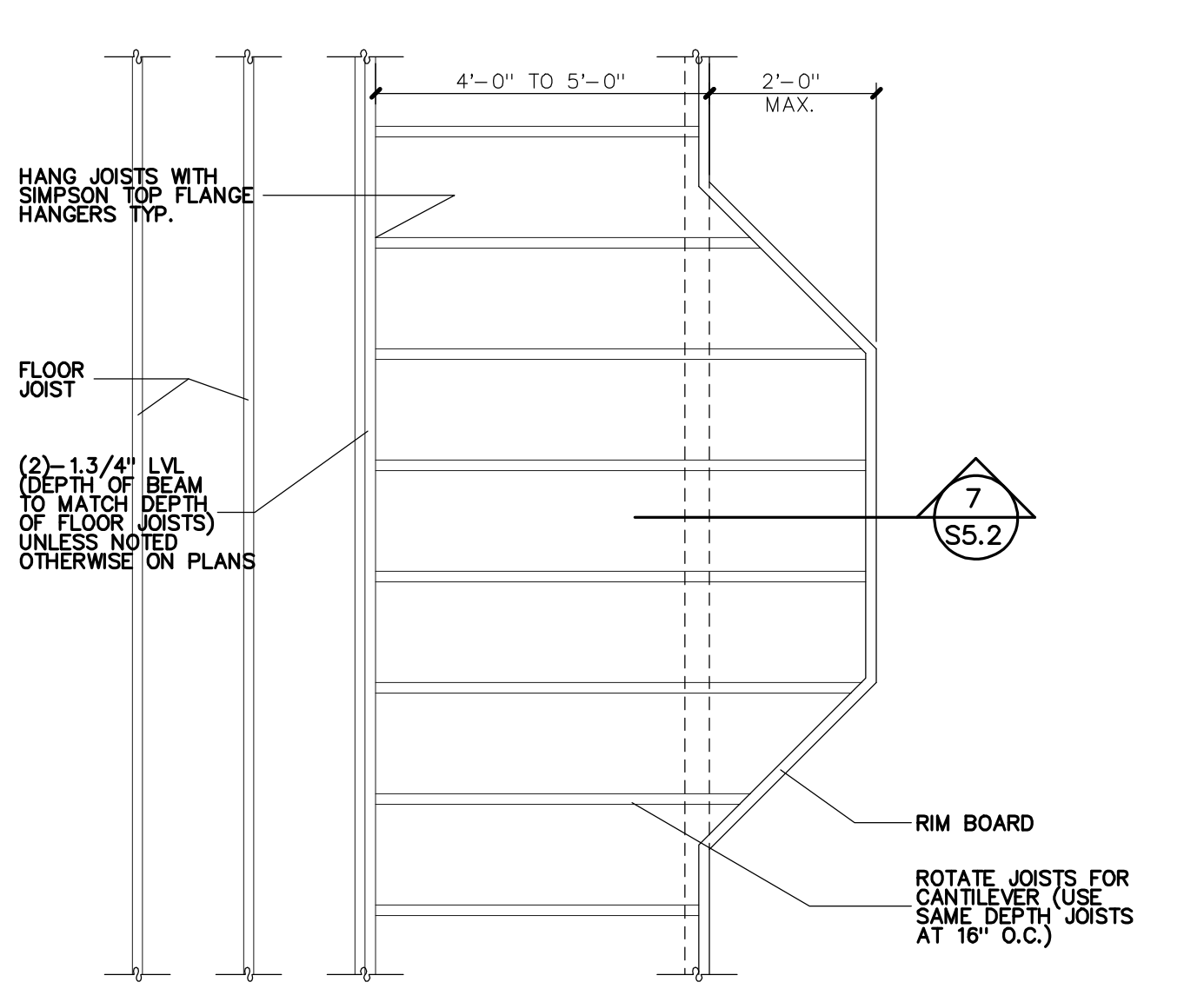
5
S5.2
SW5 SHEAR WALL CONSTRUCTION
NO SCALE



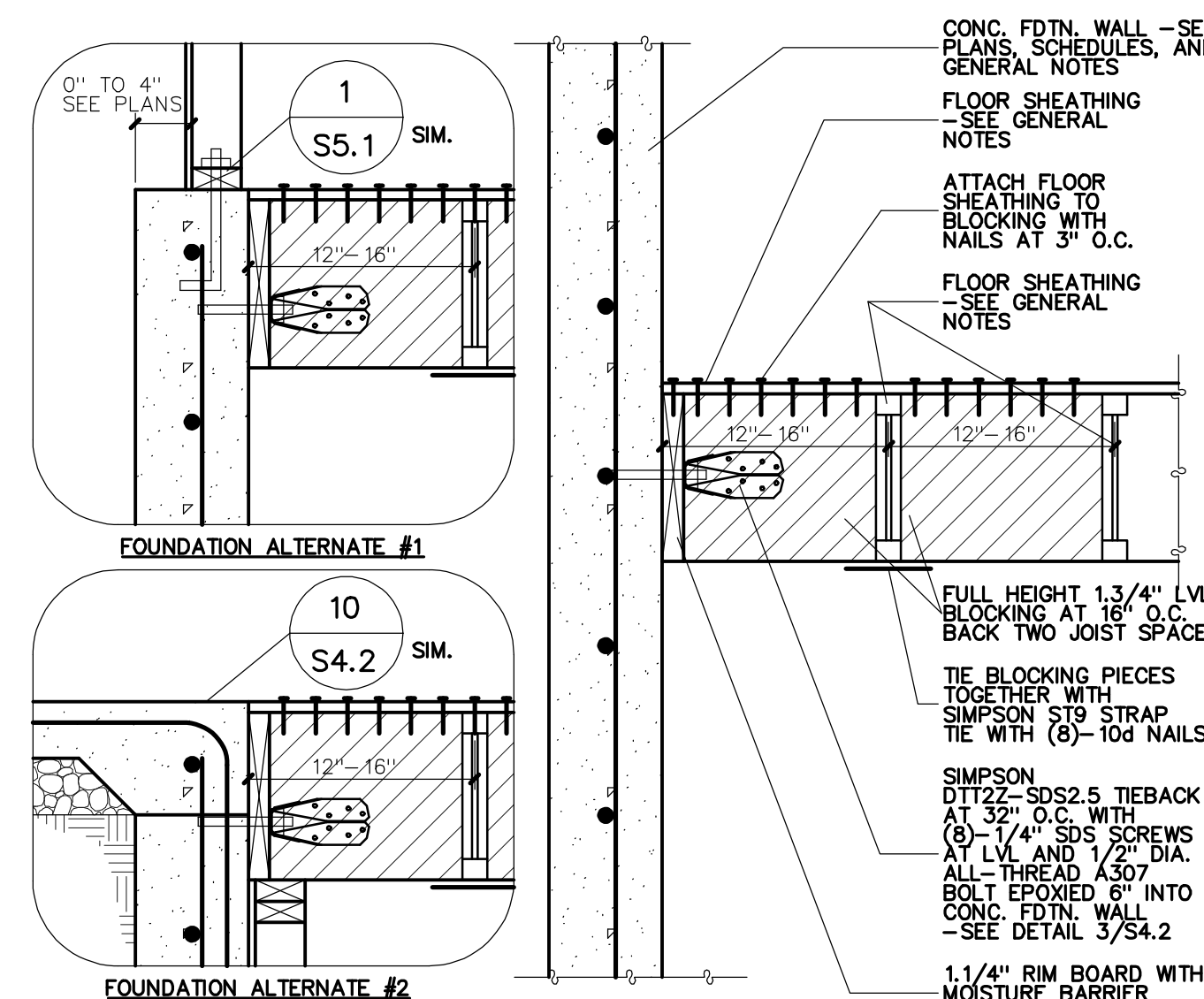
6
S5.2
MST48 AND MST21 FLOOR-TO-FLOOR ATTACHMENT
NO SCALE



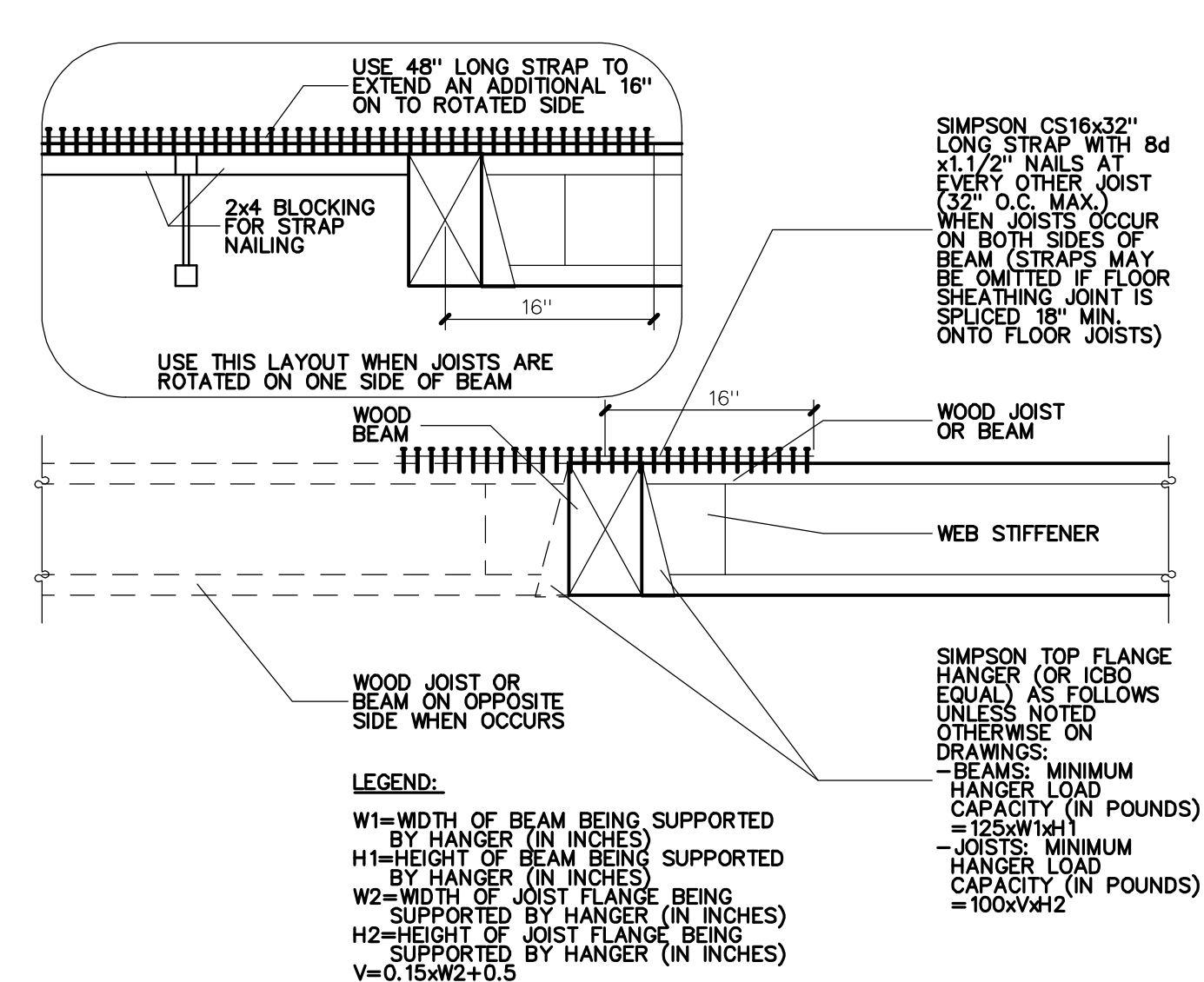
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S5.2
CANTILEVERED FLOOR
NO SCALE



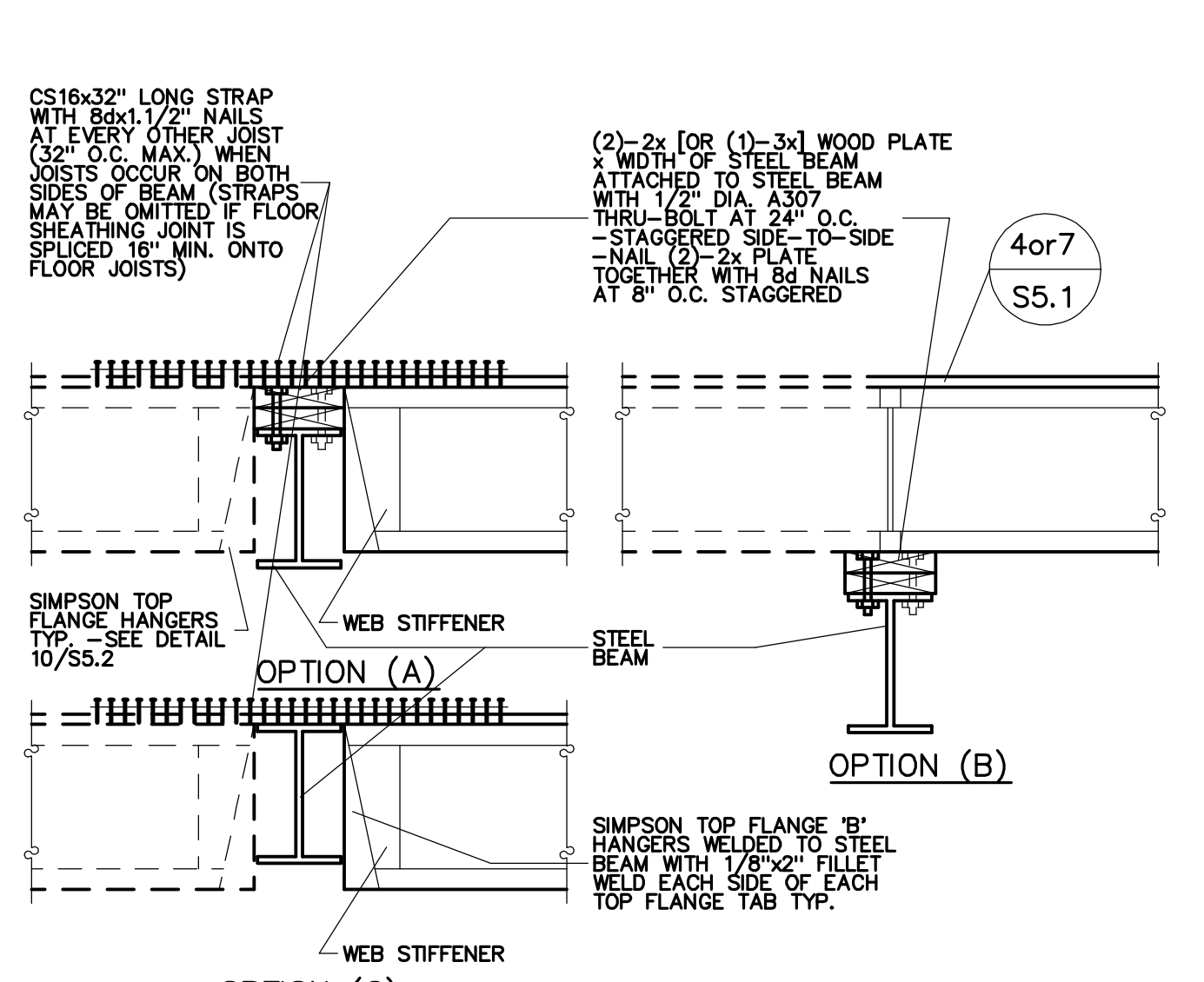
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S5.2
CANTILEVERED FLOOR LAYOUT WHEN PERPENDICULAR TO FLOOR JOISTS
NO SCALE



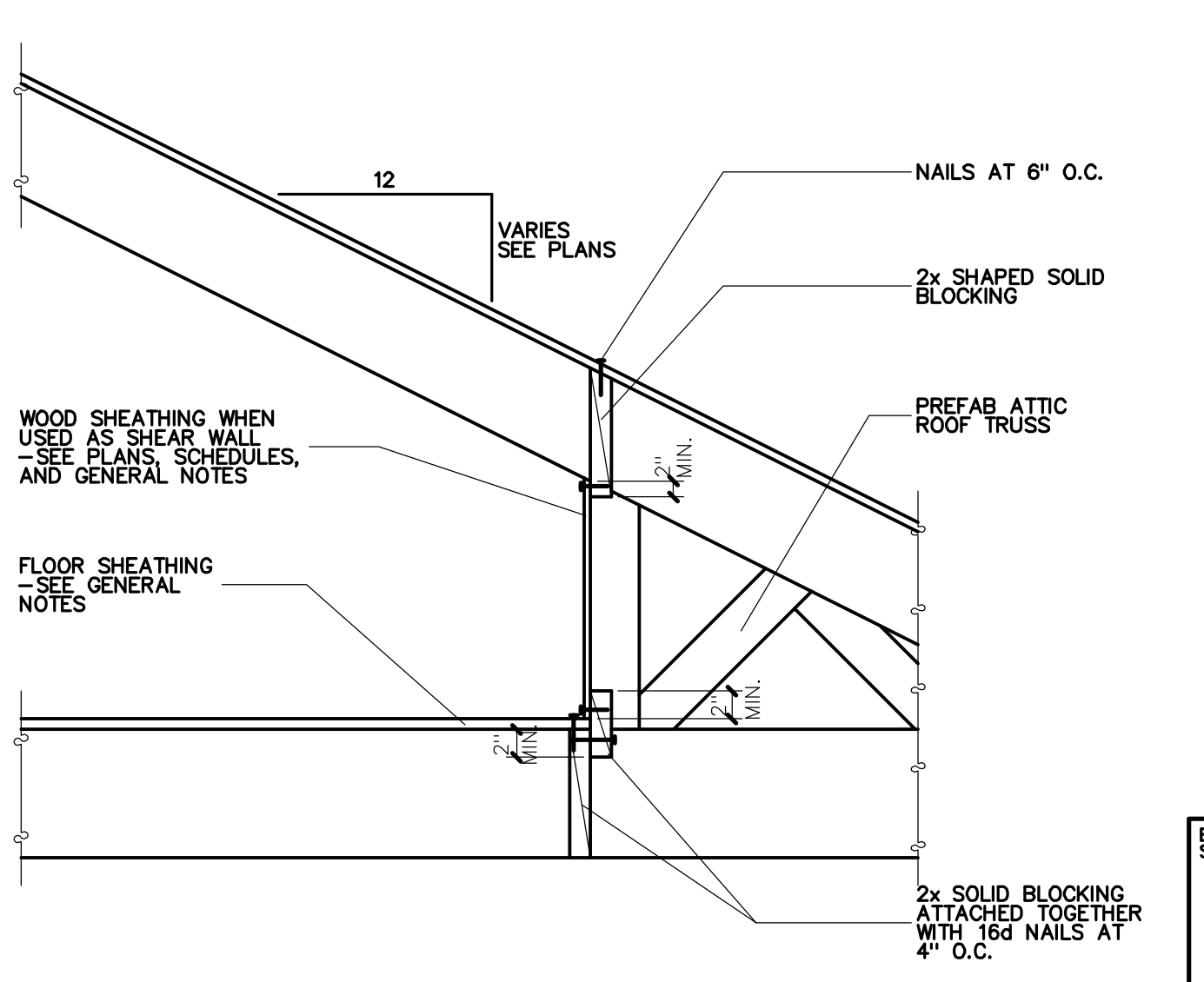
9
S5.2
FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE



10
S5.2
WOOD JOIST OR BEAM TO WOOD BEAM CONNECTION
NO SCALE



11
S5.2
FLOOR JOIST SUPPORT AT STEEL BEAM
NO SCALE

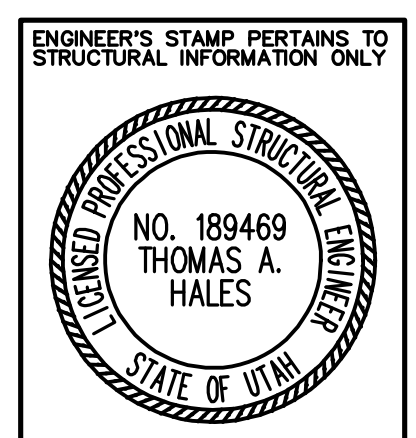


12
S5.2
INTERIOR DIAPHRAGM ATTACHMENT AT ATTIC TRUSS FLOOR
NO SCALE

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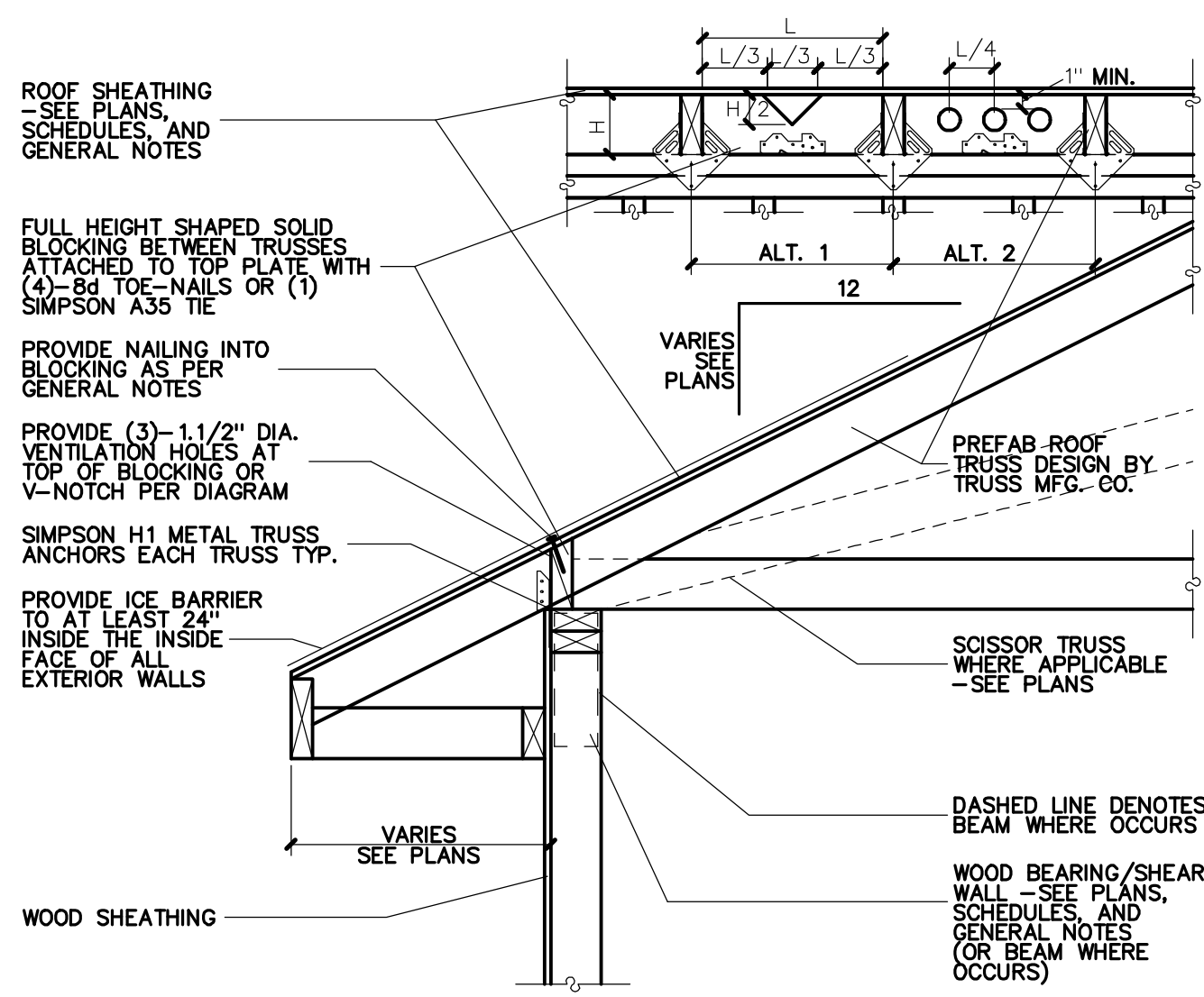
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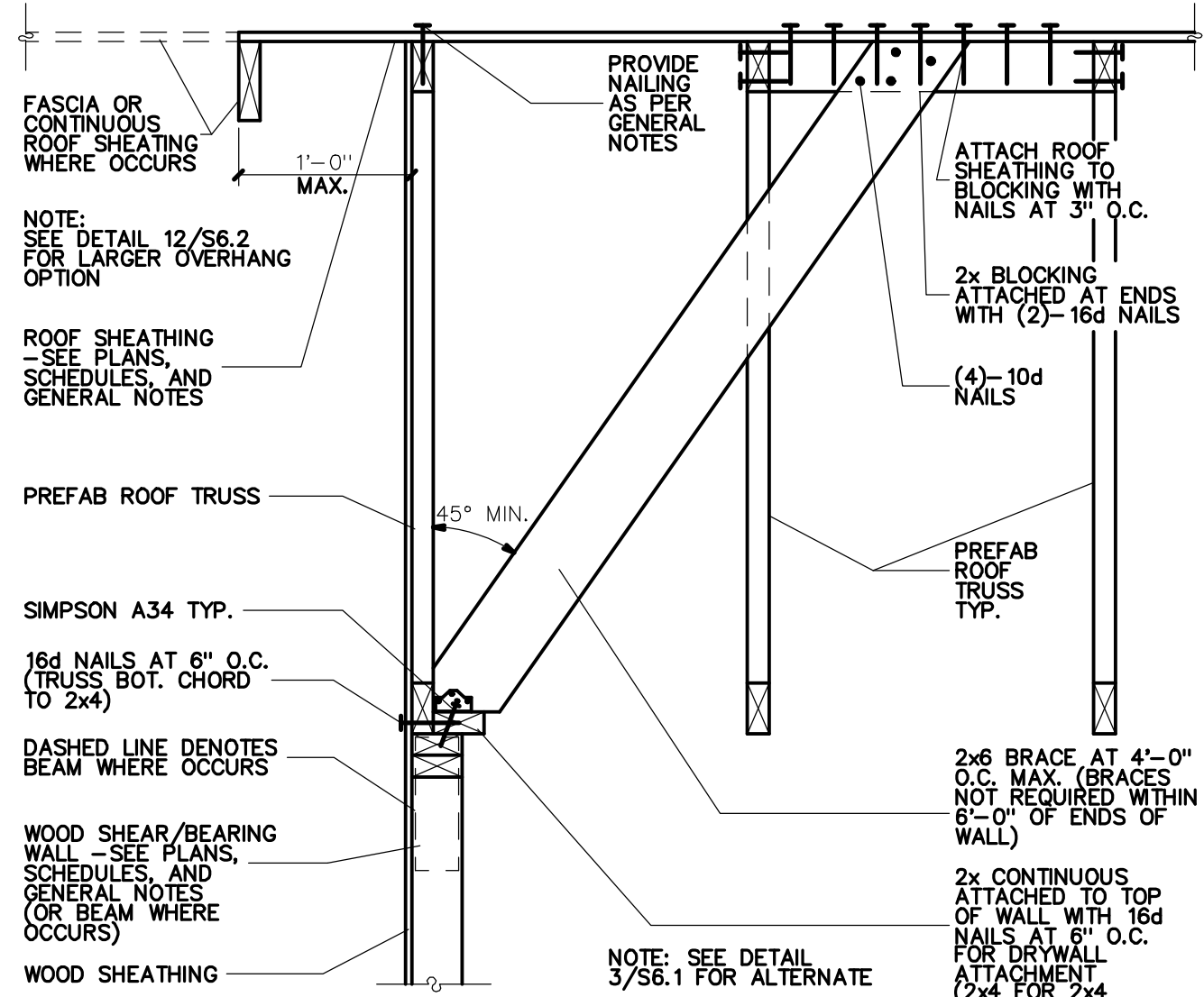
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FLOOR FRAMING DETAILS
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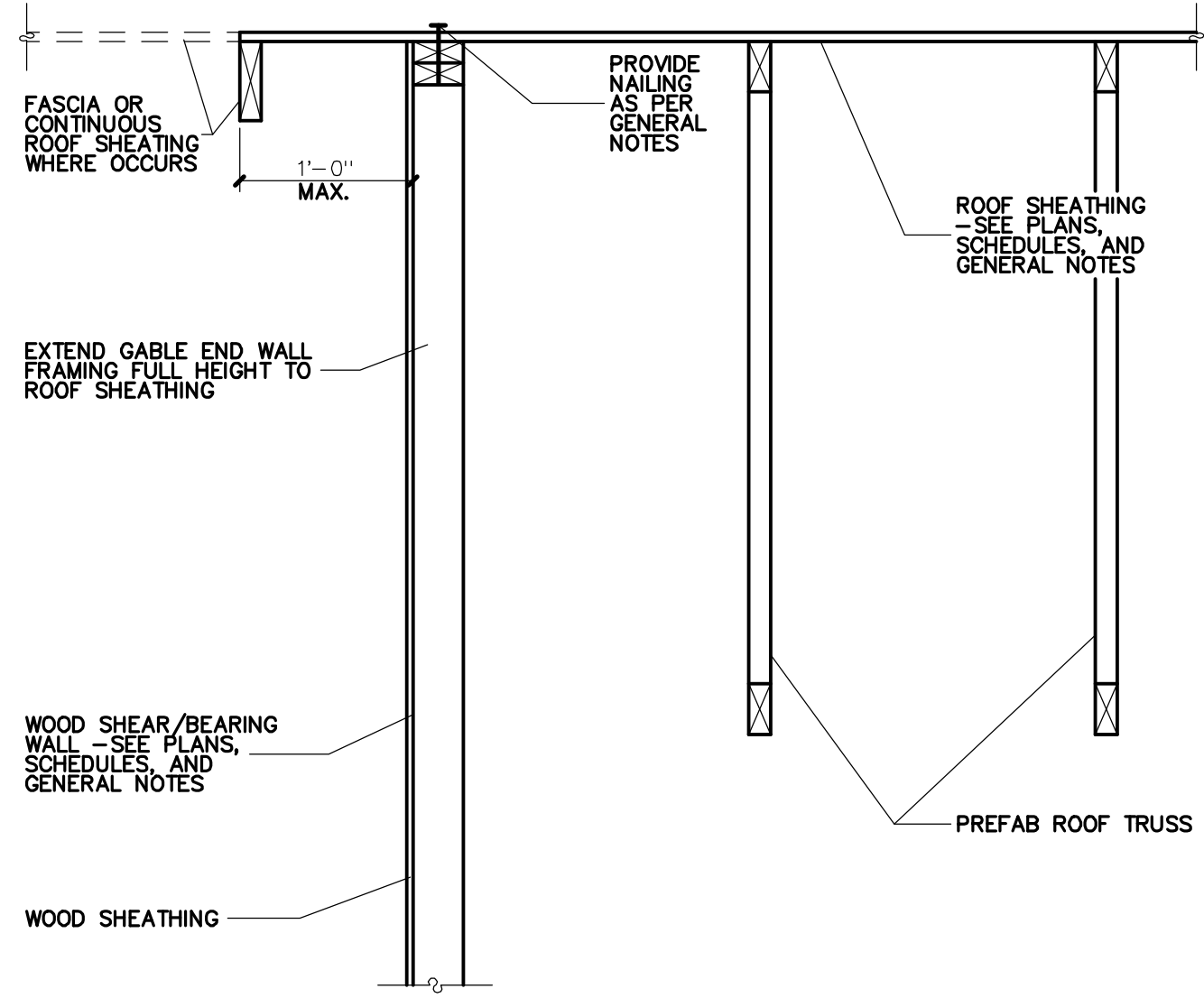
SHEET
S5.2



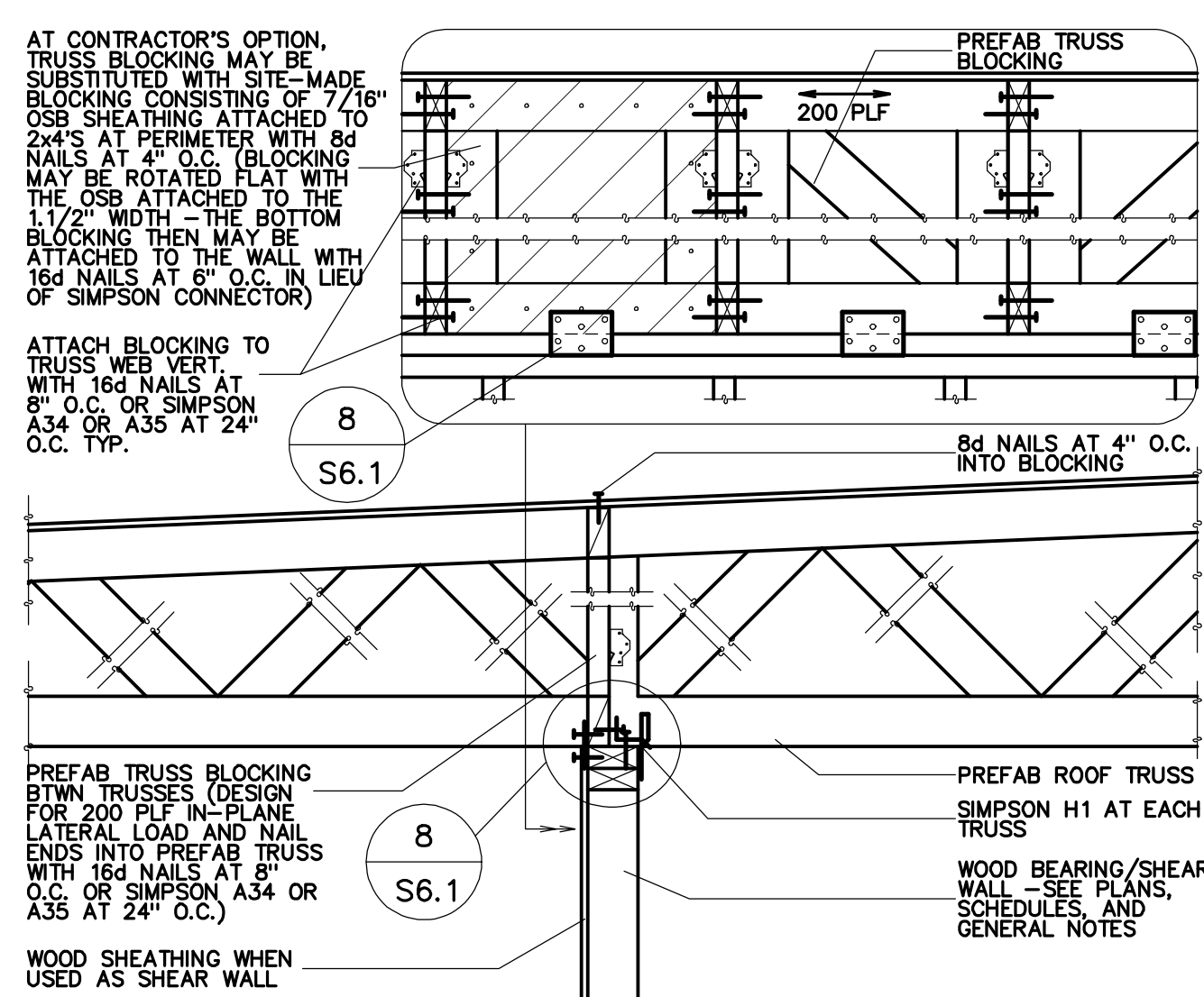
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



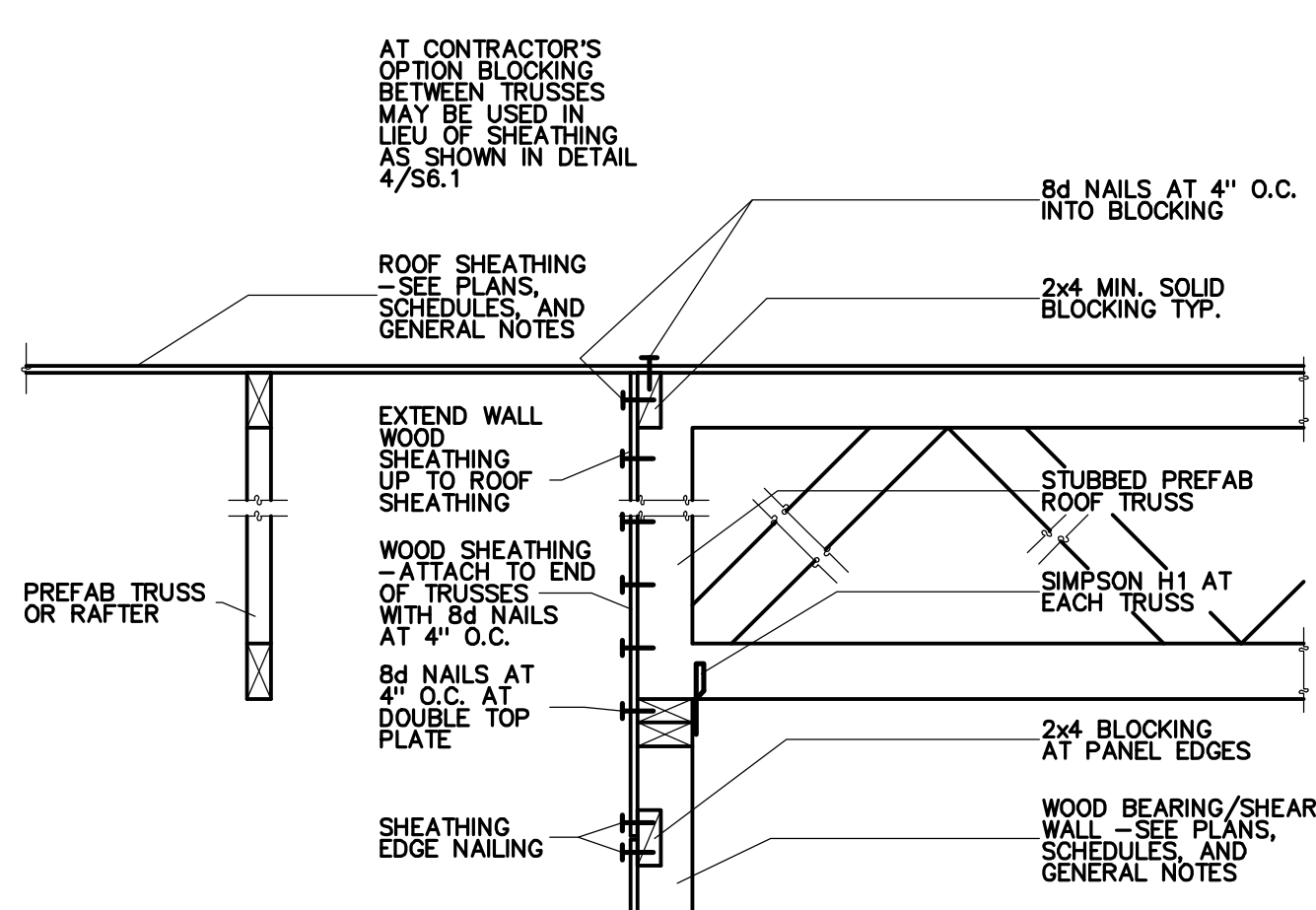
GABLE END AND/OR SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



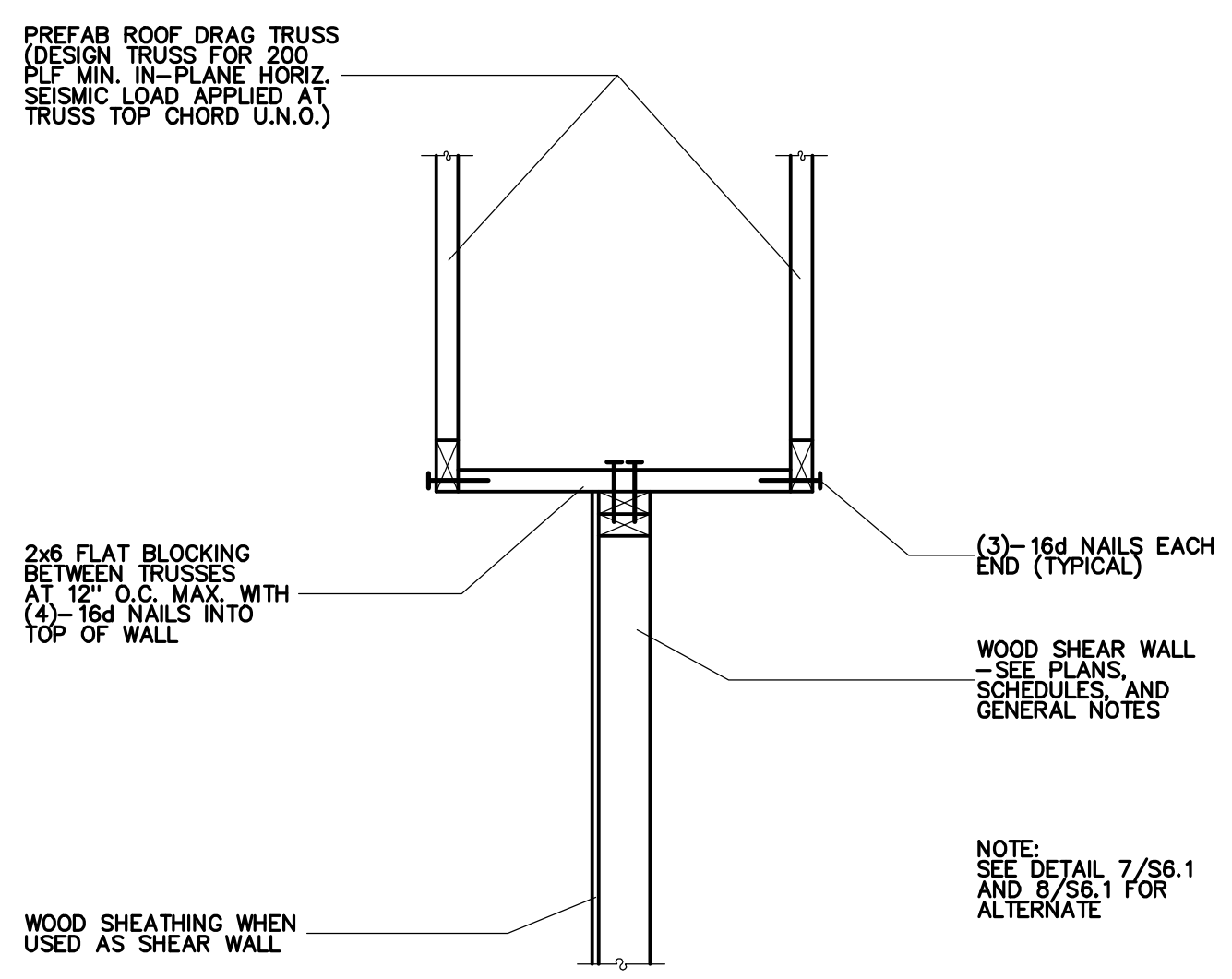
GABLE END AND/OR SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



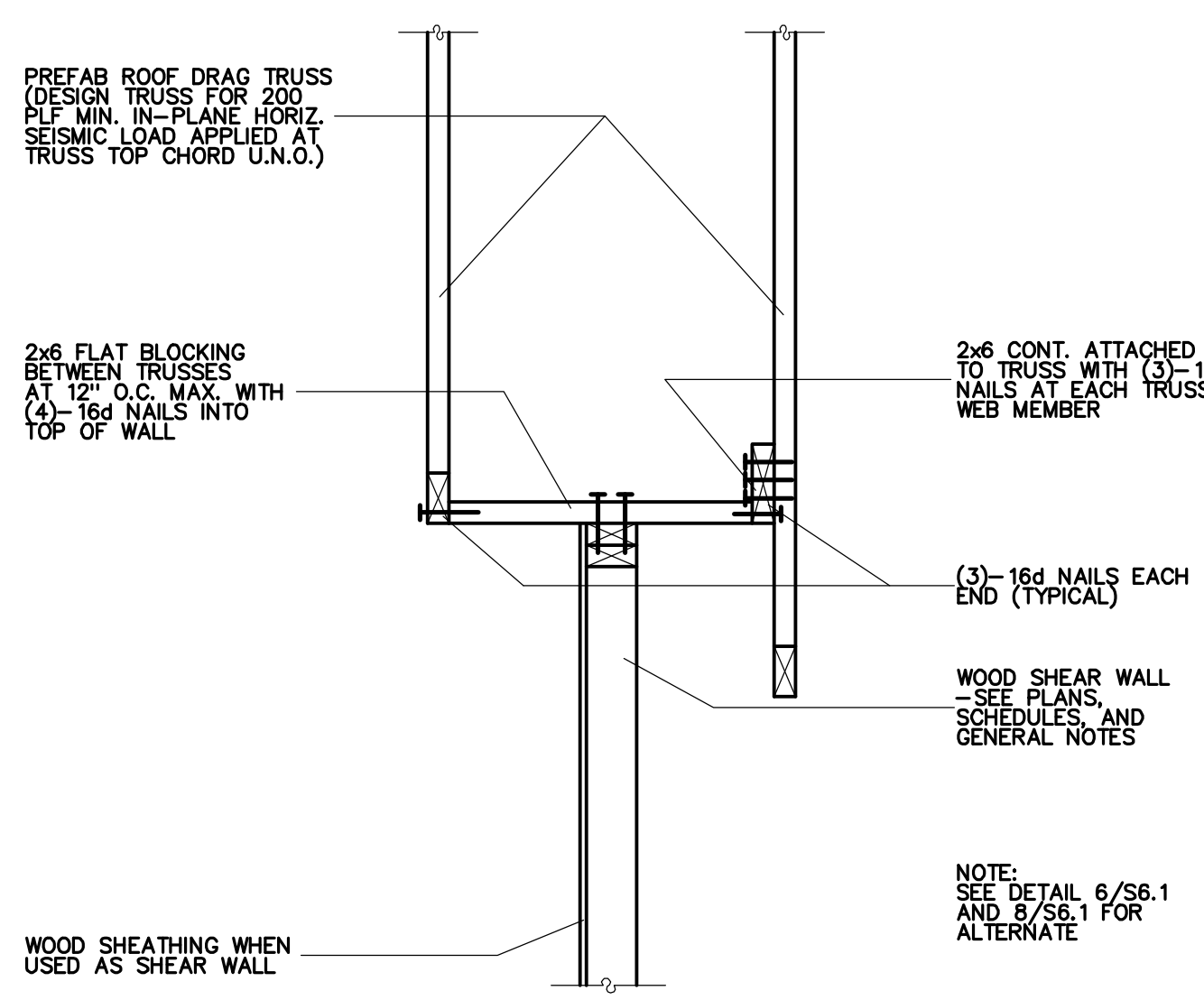
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



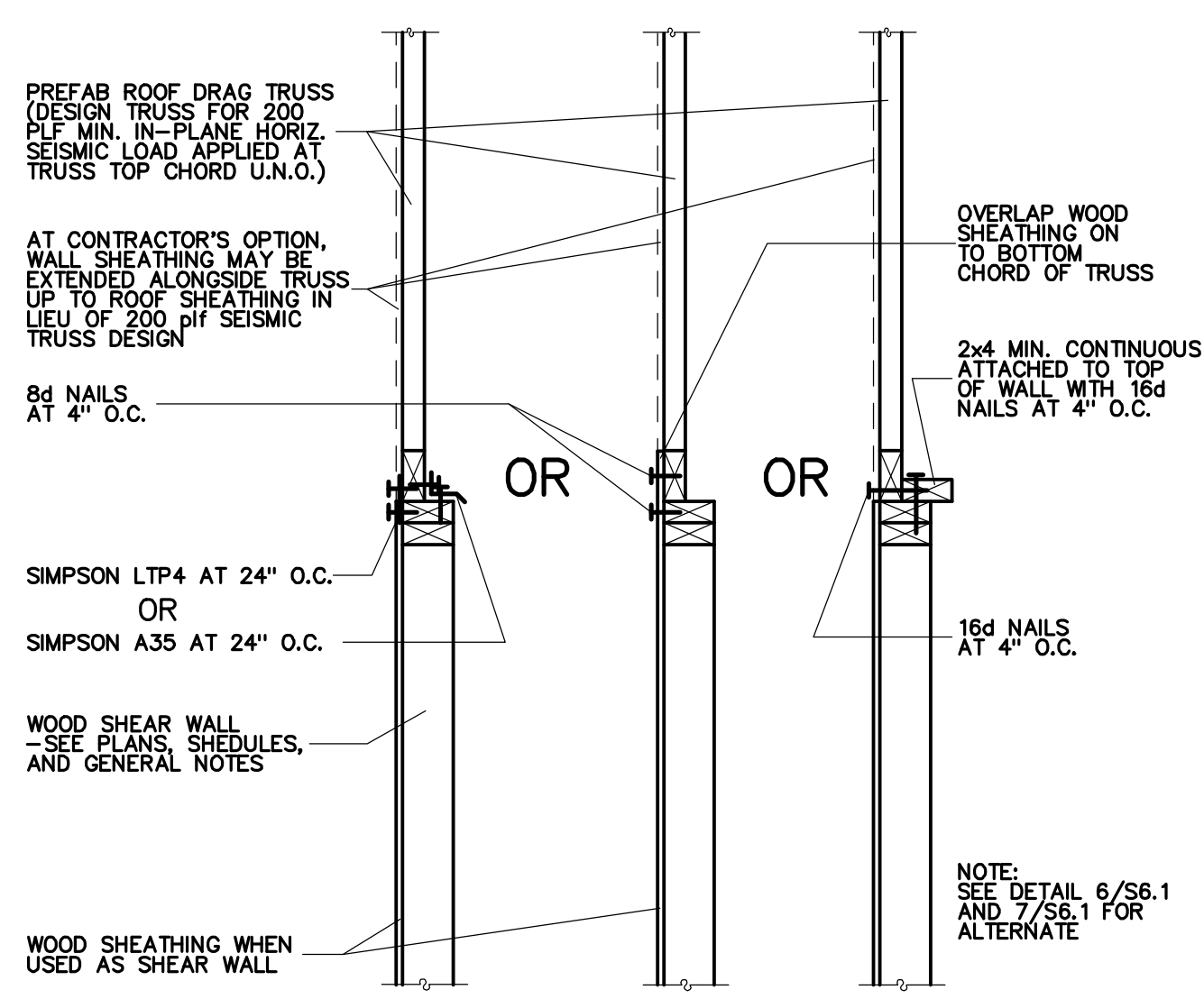
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NO SCALE



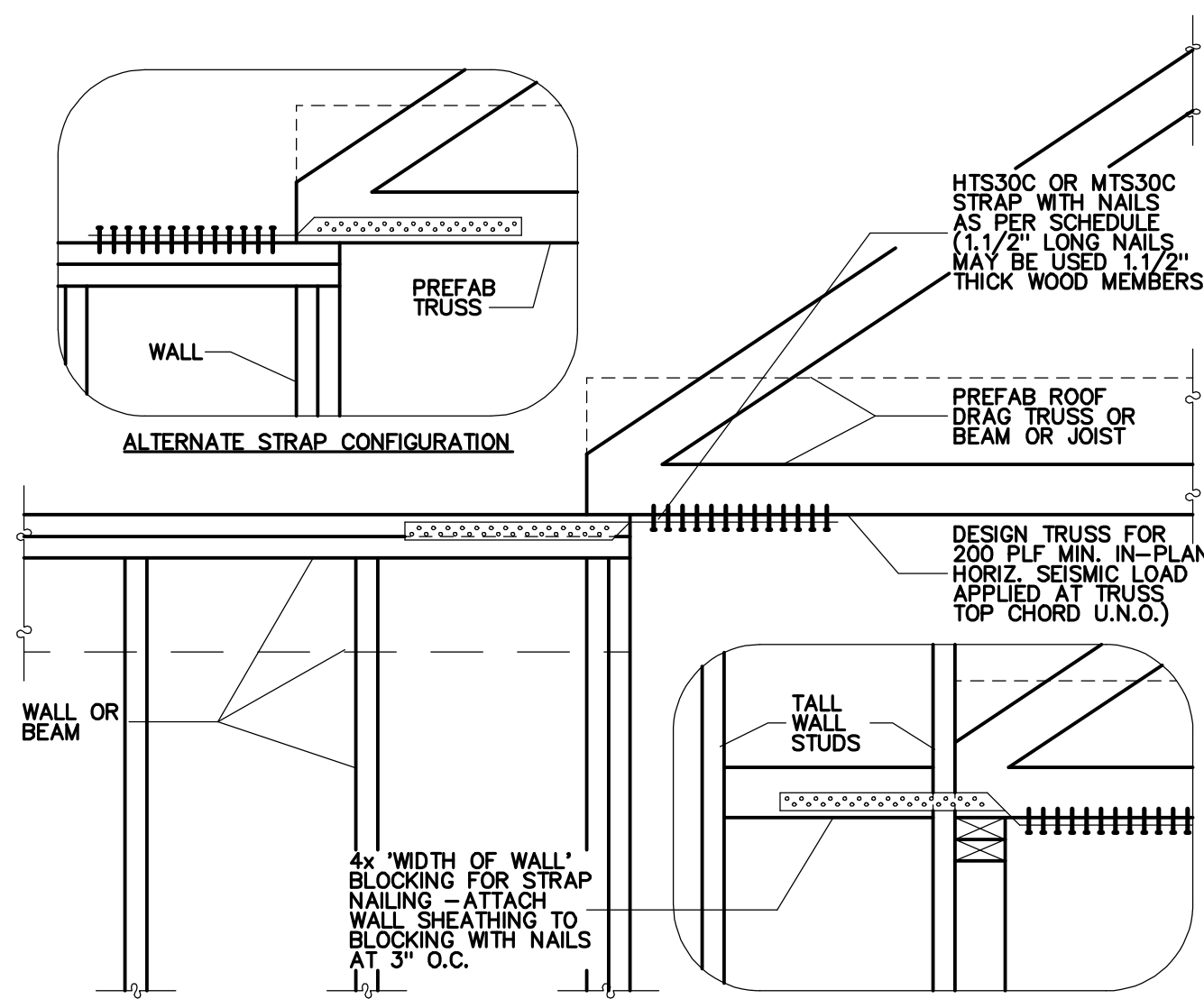
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



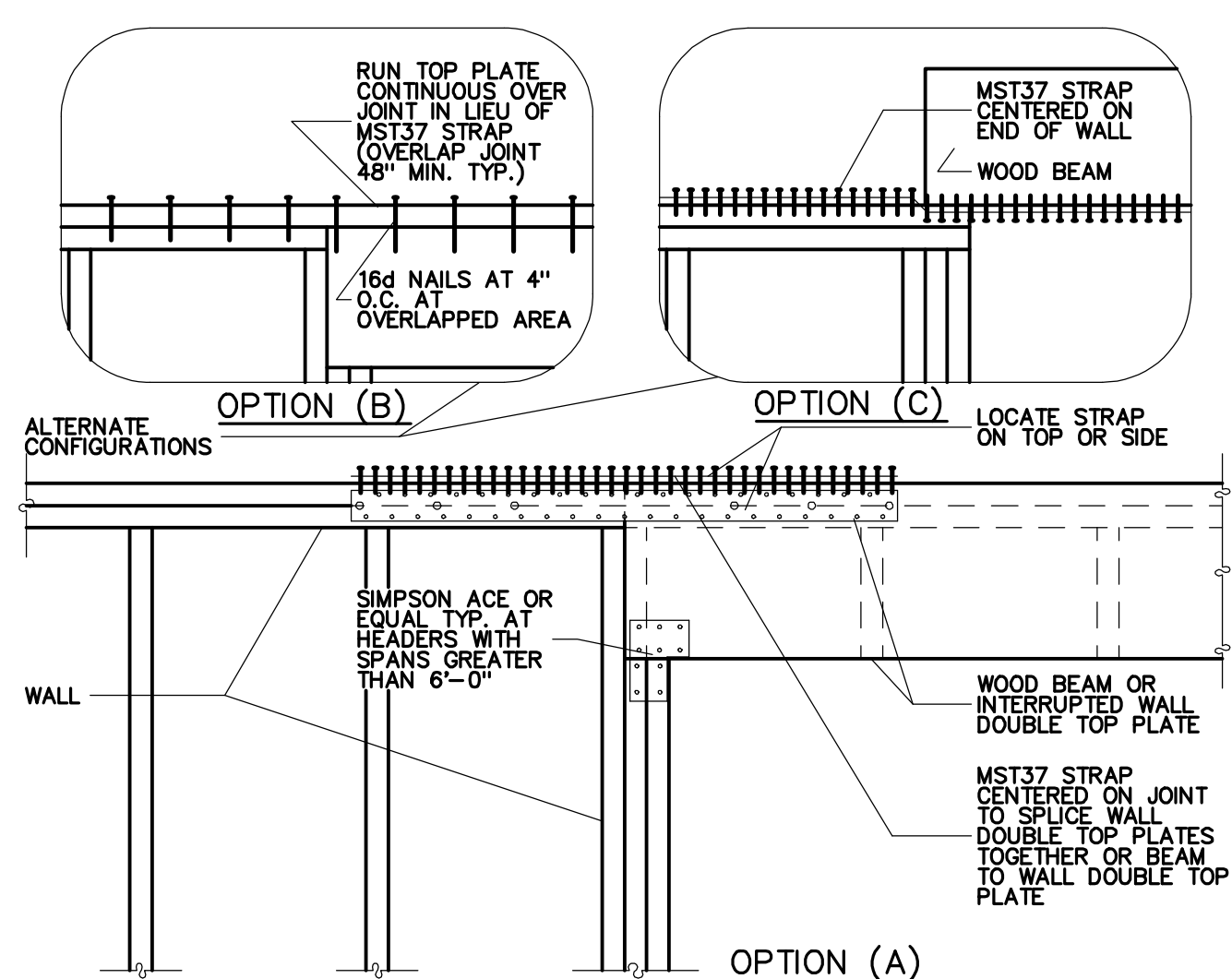
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NO SCALE



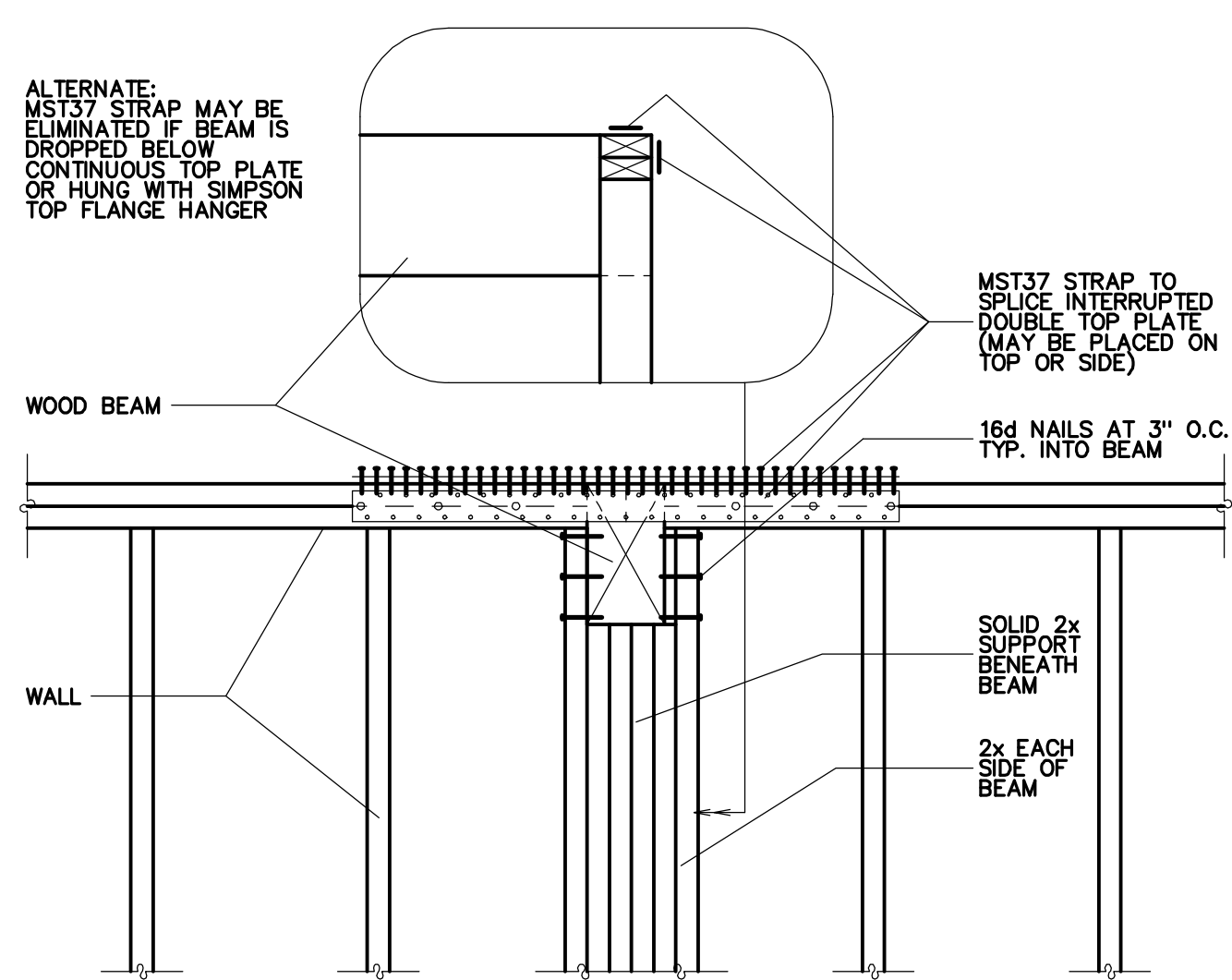
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



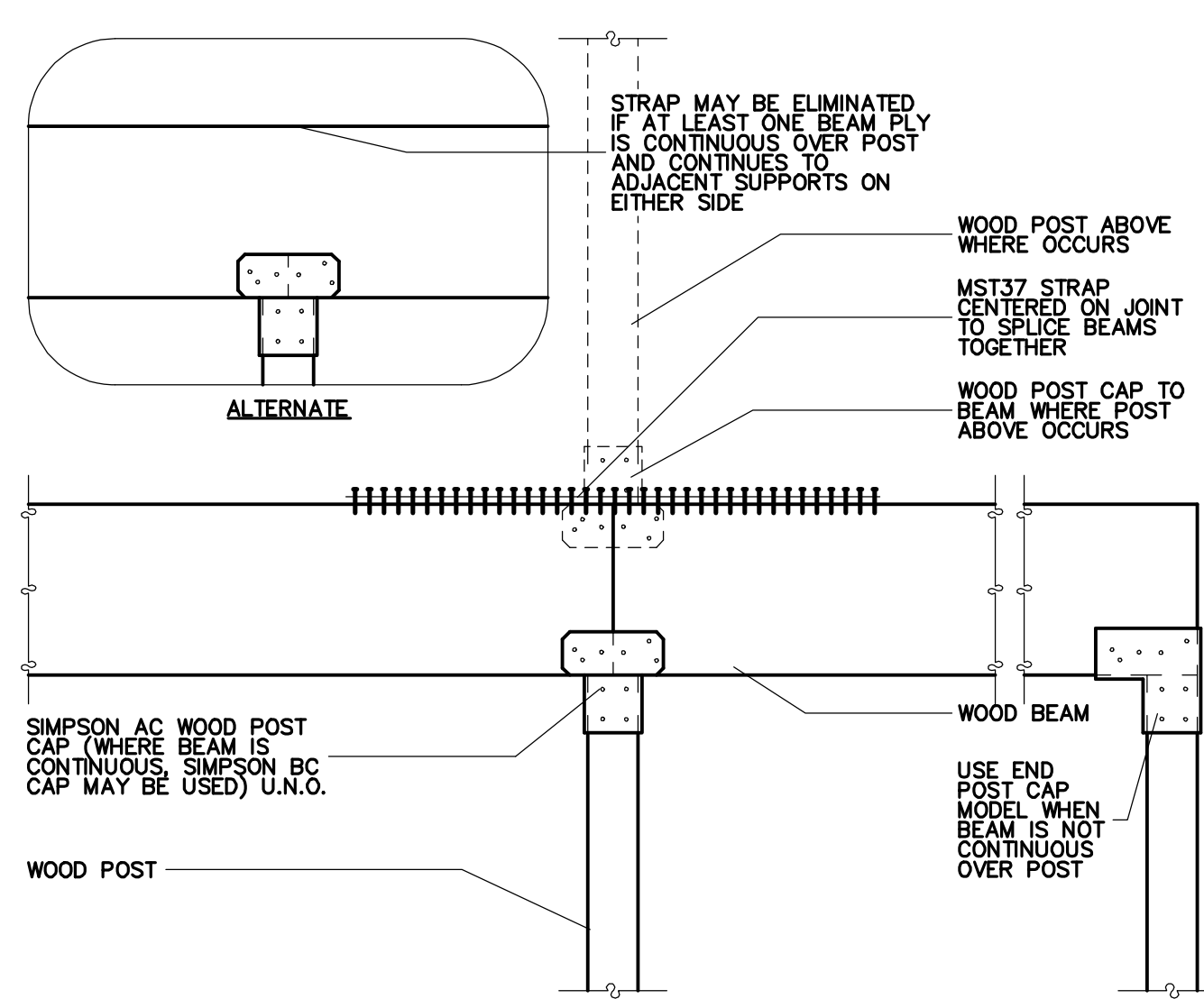
HTS30C/MTS30C STRAP INSTALLATION
NO SCALE



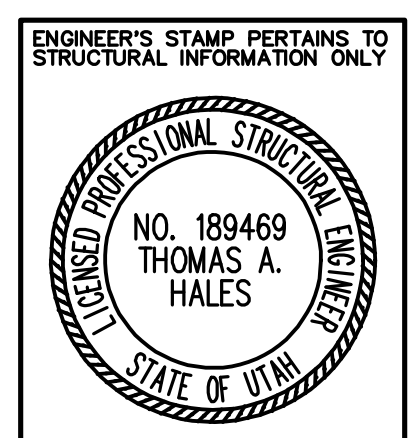
MST37 STRAP INSTALLATION AND HEADER DETAIL
NO SCALE



WOOD BEAM POCKET IN WALL
NO SCALE



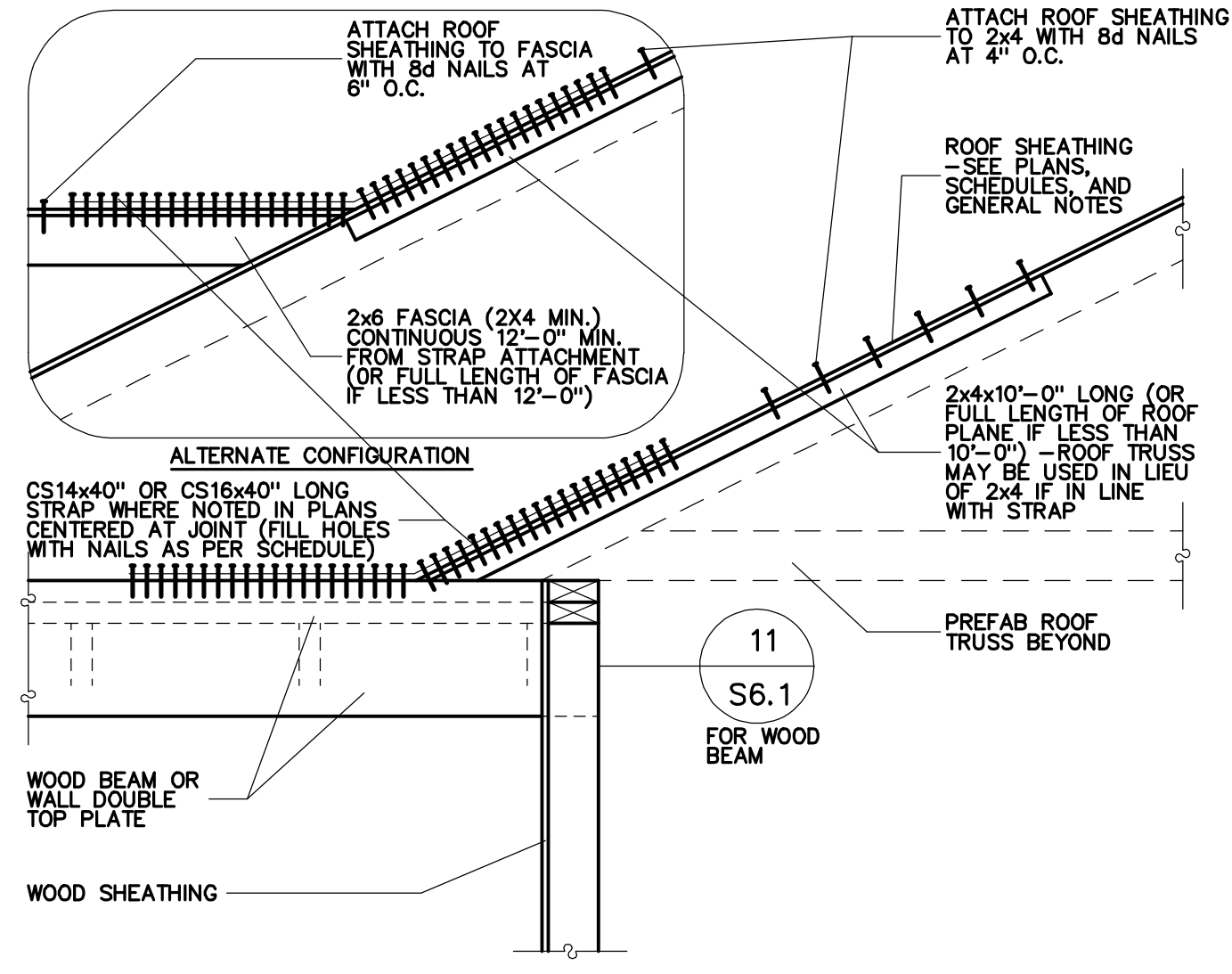
WOOD BEAM TO POST AND MST37 STRAP INSTALLATION
NO SCALE



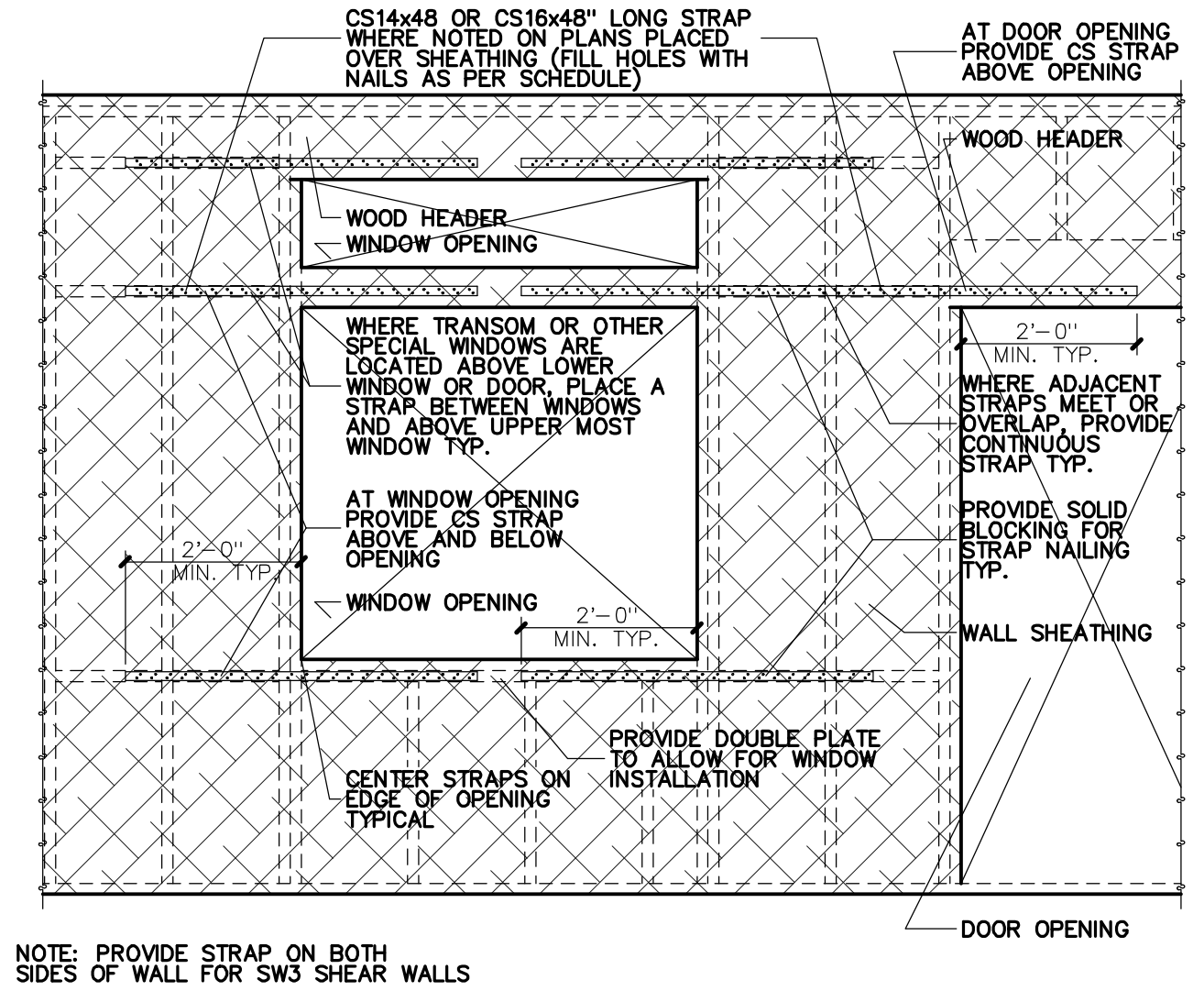
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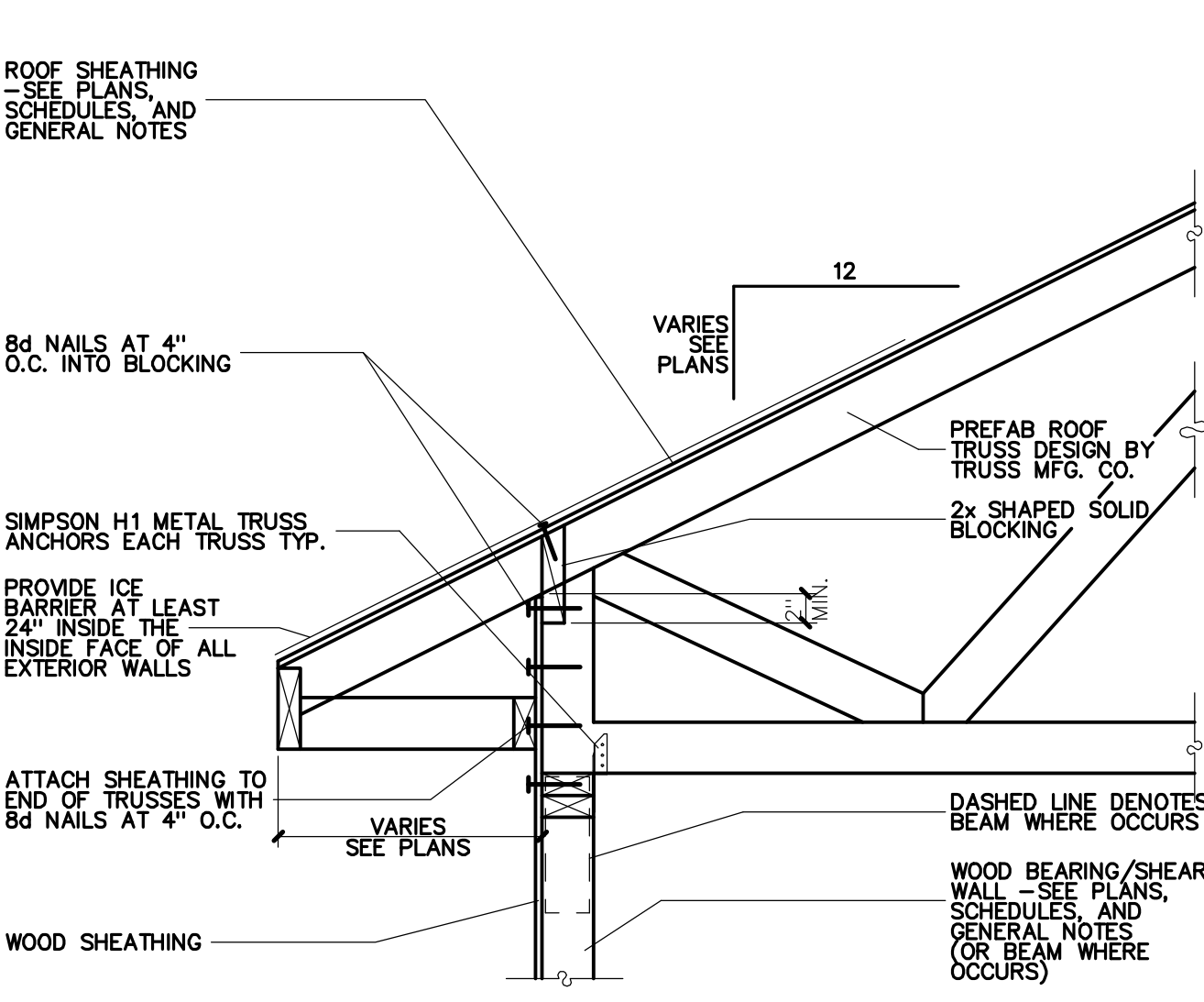
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 D E S I G N S L L C
 SHEET TITLE: ROOF FRAMING DETAILS
 DRAWN: CWH
 TYPE: ORIGINAL DRAWING
 DATE: 11/20/2023
 JOB NO.: 230969
 PLAN NO.: 0-1-BB07-2-837-TWO-STORY
 NO. 189469
 THOMAS A. HALES
 STATE OF UTAH
 PROFESSIONAL ENGINEER
 11/20/2023 3:43 PM



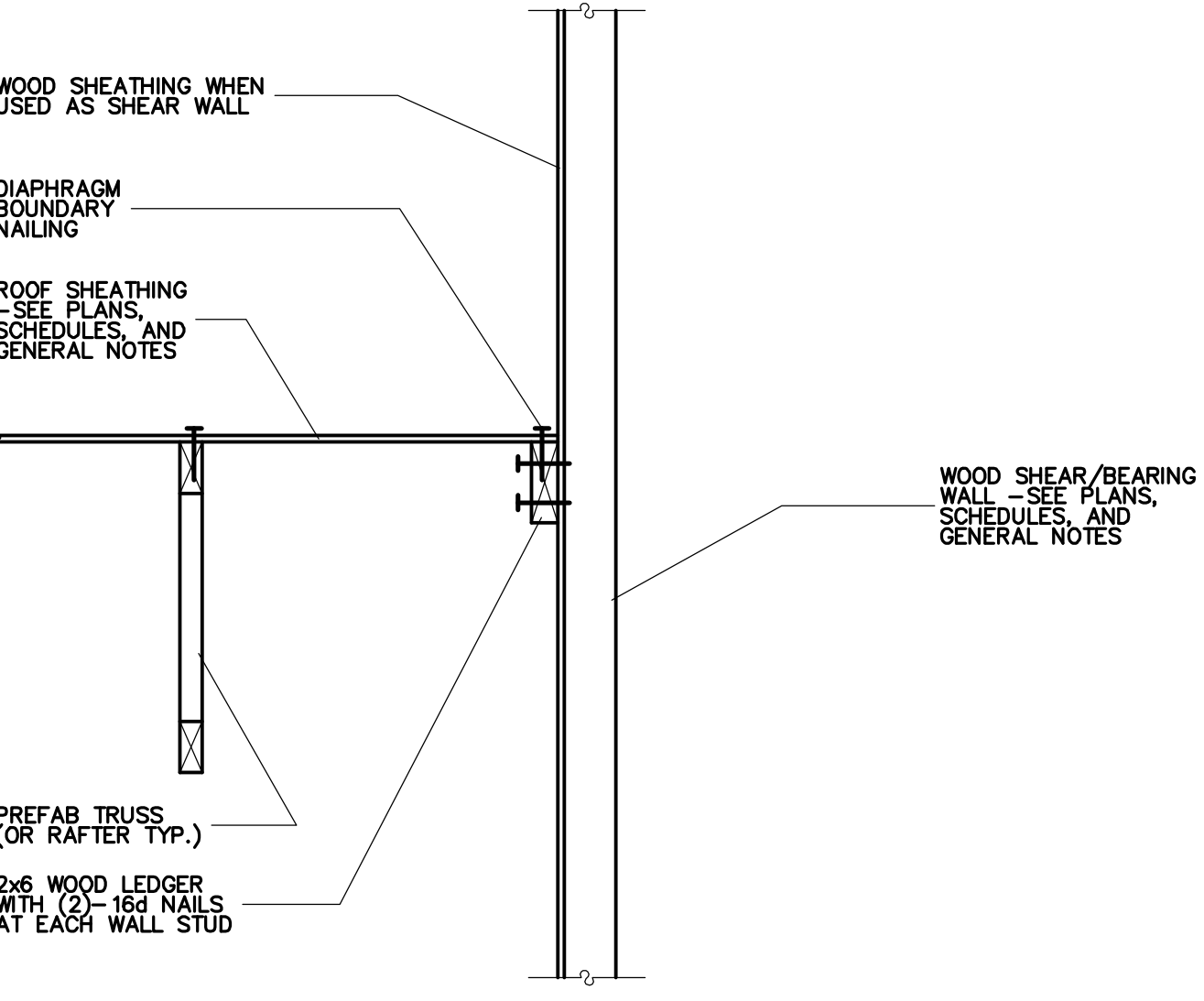
CS16x40 STRAP INSTALLATION
NO SCALE
S6.2



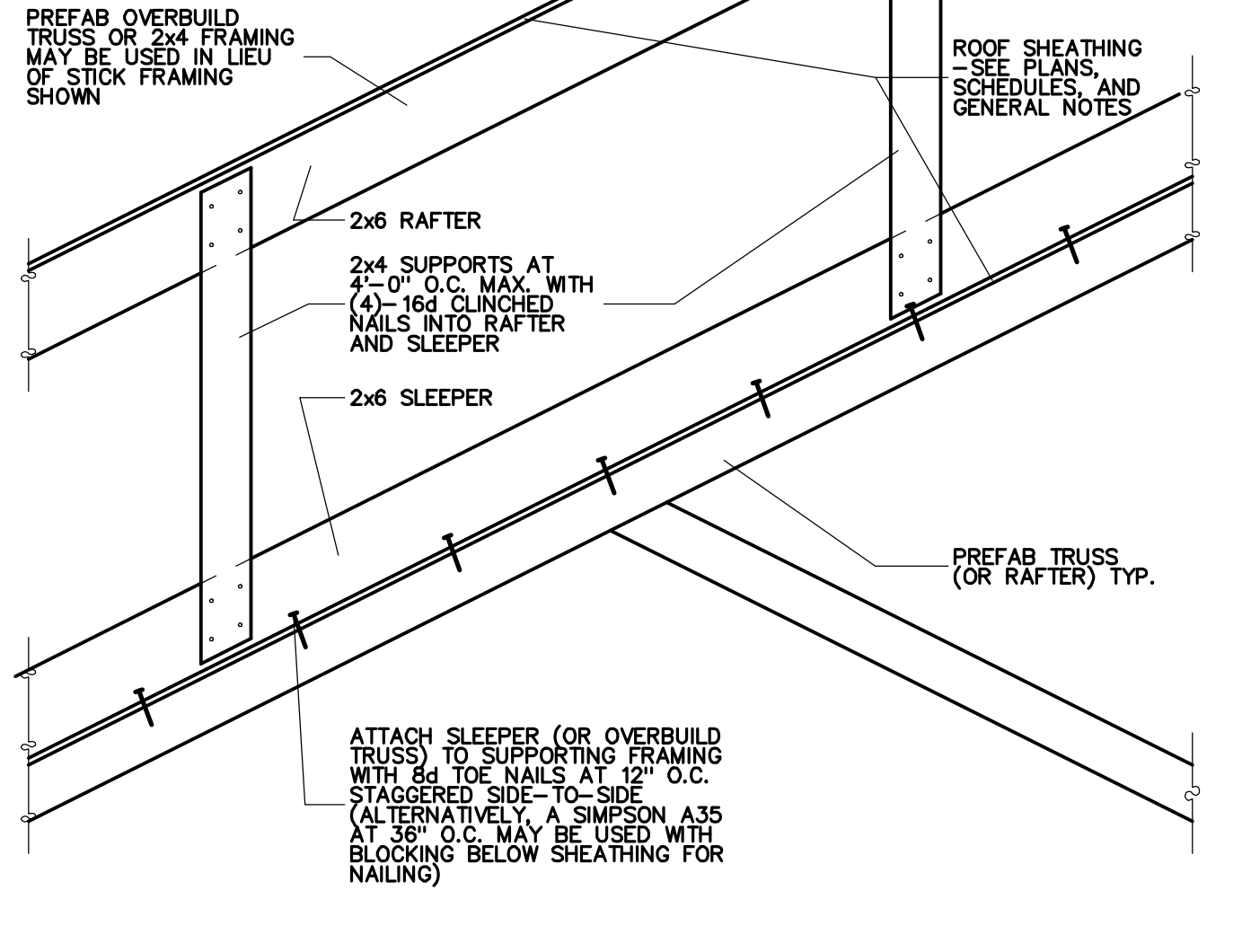
CS16x48 STRAP ATTACHMENT
NO SCALE
S6.2



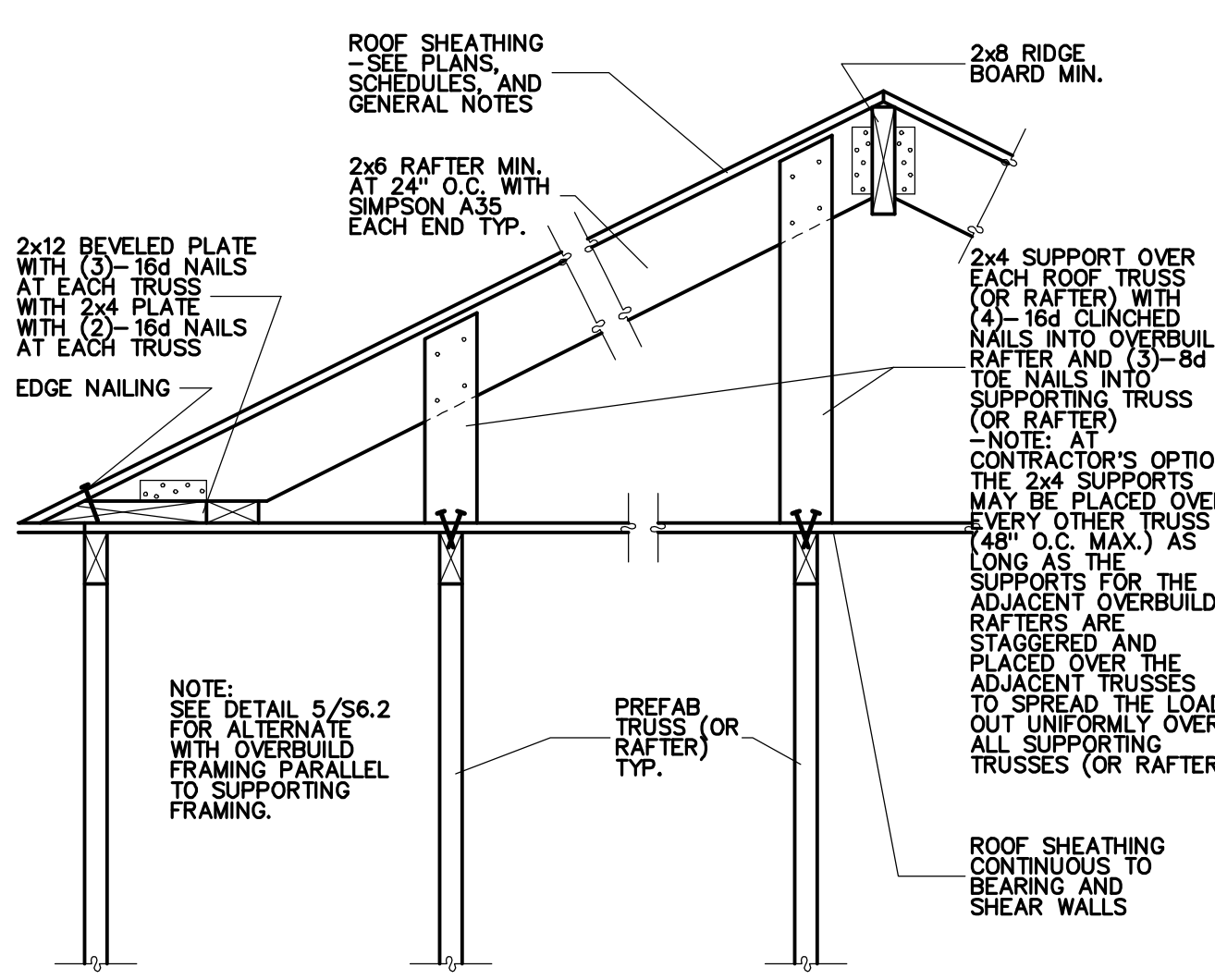
BEARING/SHEAR WALL AT RAISED-HEEL ROOF TRUSSES
NO SCALE
S6.2



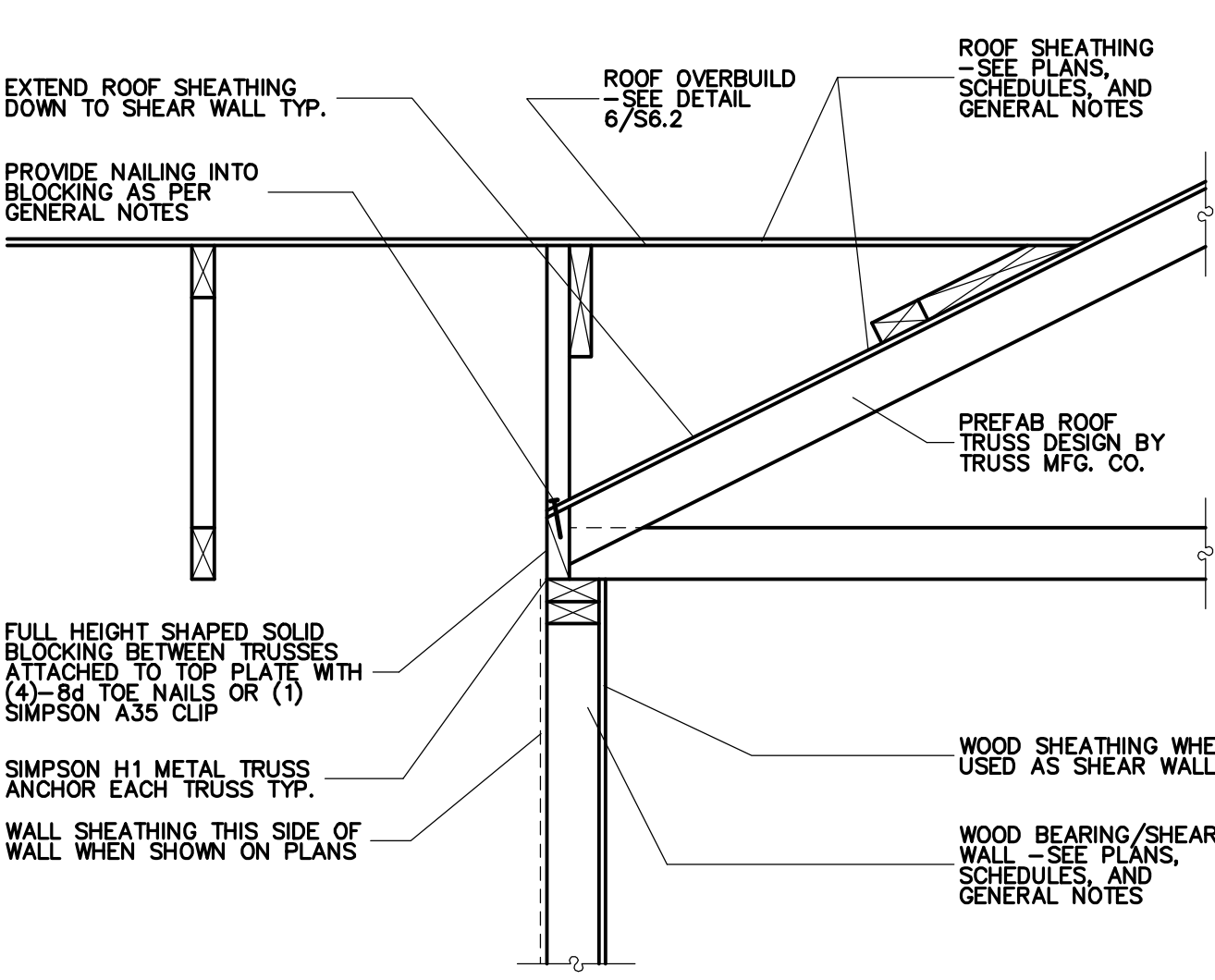
TRUSSES PARALLEL TO BEARING/SHEAR WALL
NO SCALE
S6.2



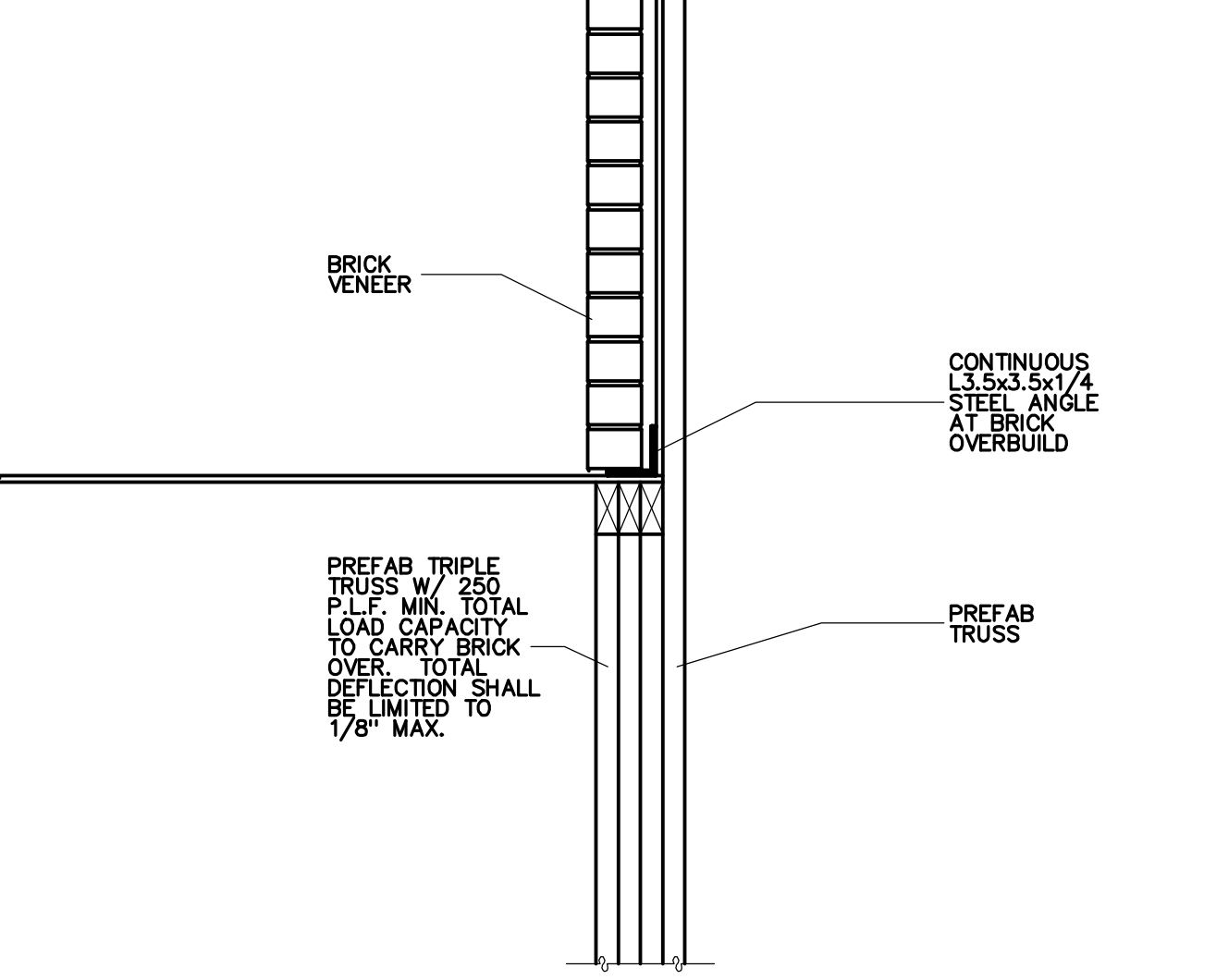
ROOF FRAMING OVERBUILD (OVERBUILD FRAMING PARALLEL TO SUPPORTING FRAMING)
NO SCALE
S6.2



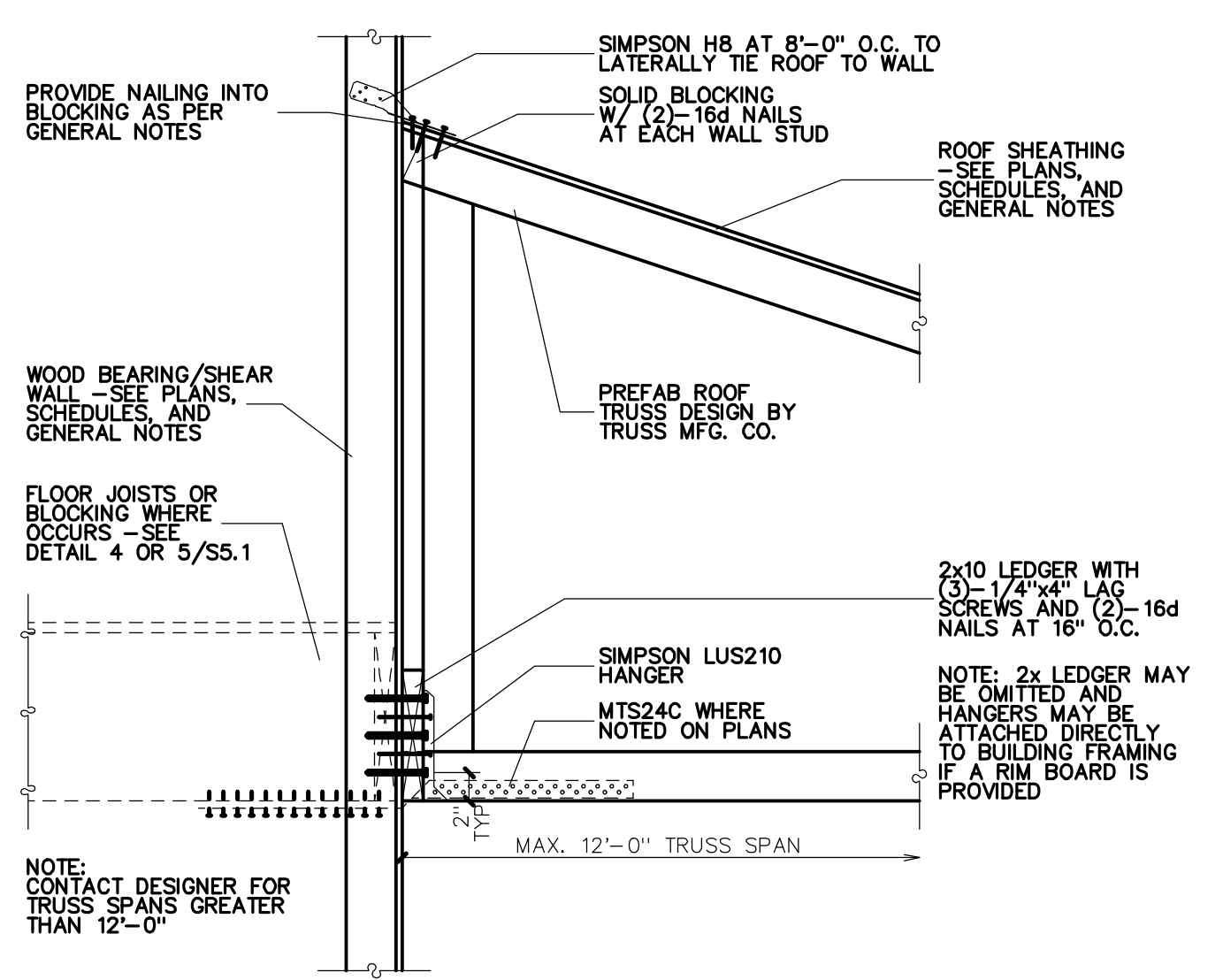
ROOF FRAMING OVERBUILD
NO SCALE
S6.2



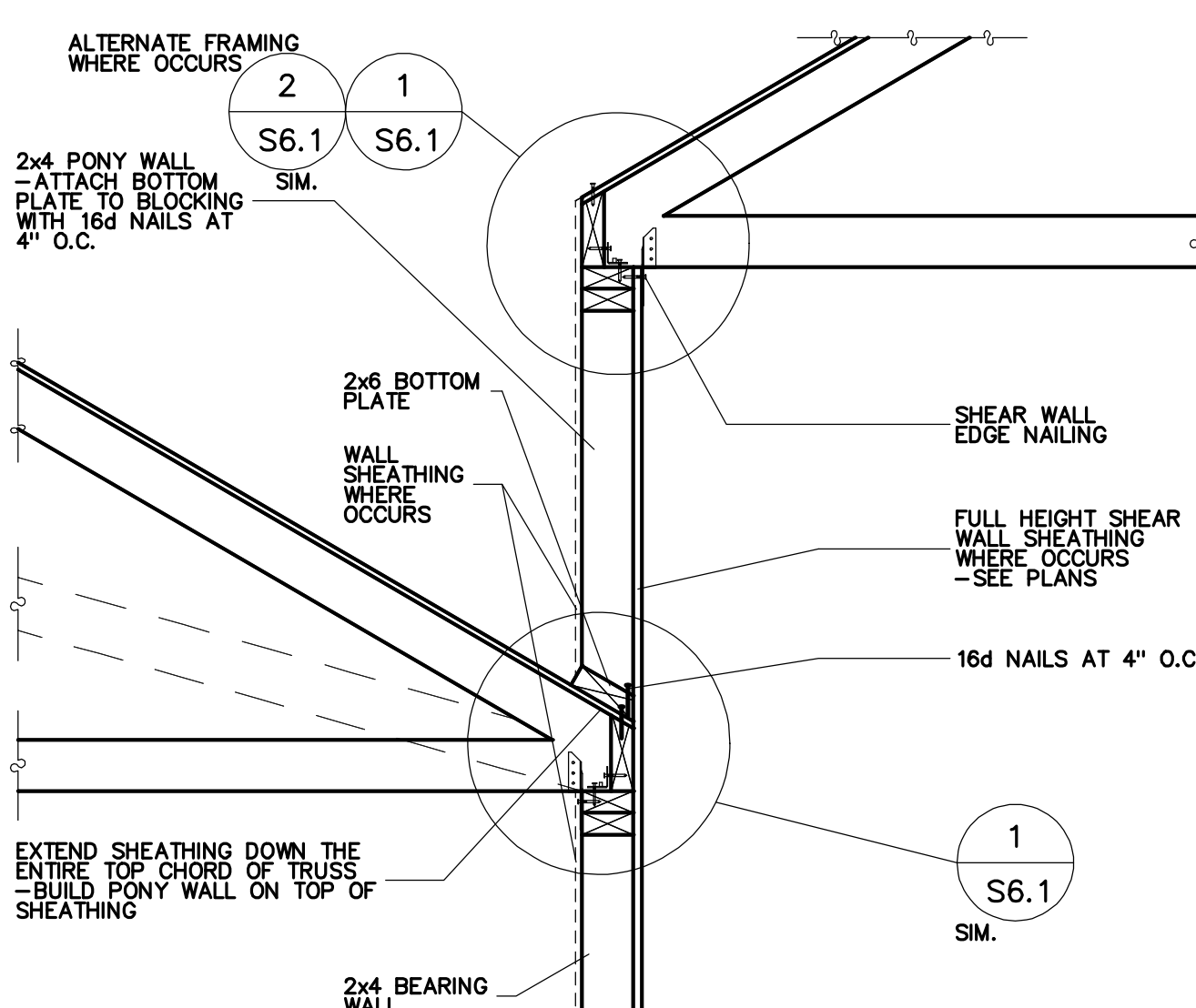
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE
S6.2



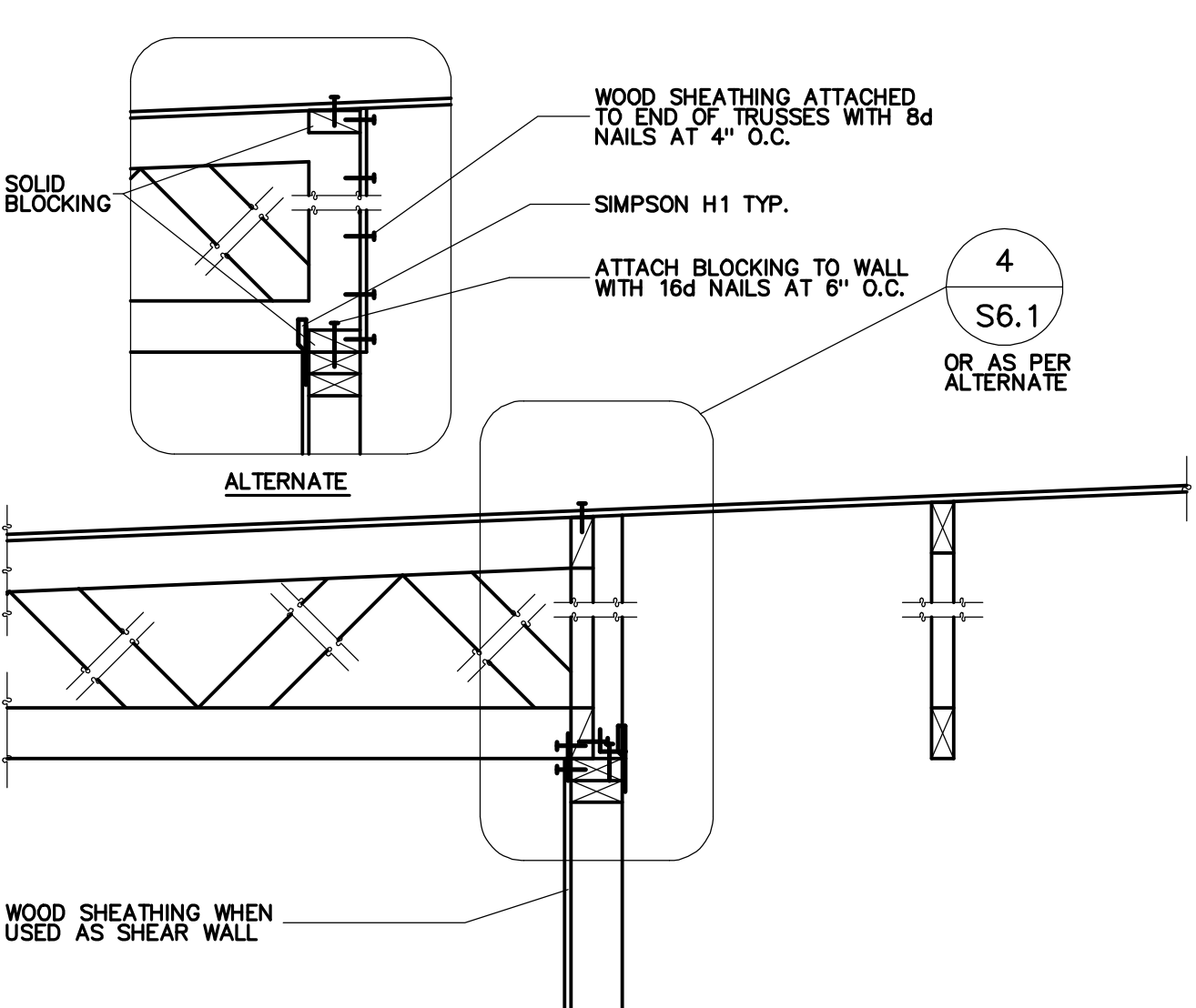
BRICK OVER ROOF SUPPORT
NO SCALE
S6.2



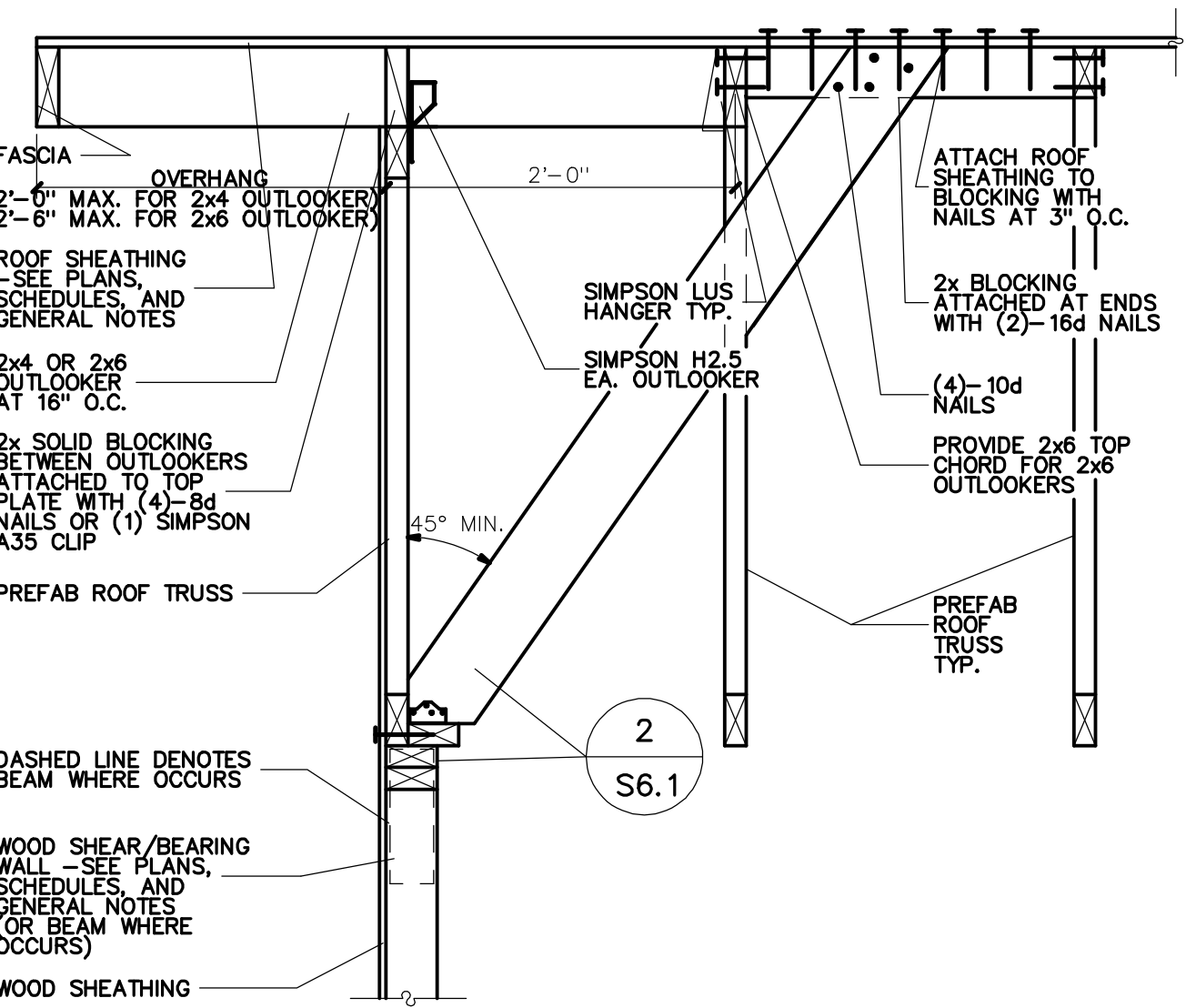
ROOF TRUSS BEARING AT SIDE OF WALL (UP TO 12'-0" TRUSS SPAN)
NO SCALE
S6.2



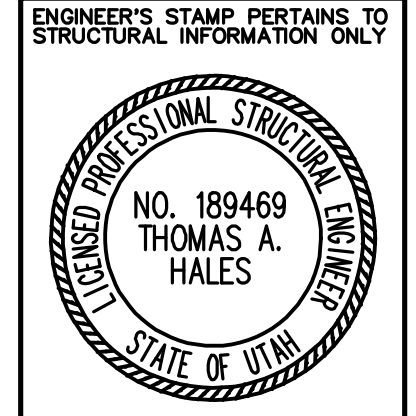
TRUSS TO BEARING/SHEAR WALL
NO SCALE
S6.2



BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE
S6.2



GABLE END WALL WITH EXTENDED GABLE OVERHANG
NO SCALE
S6.2



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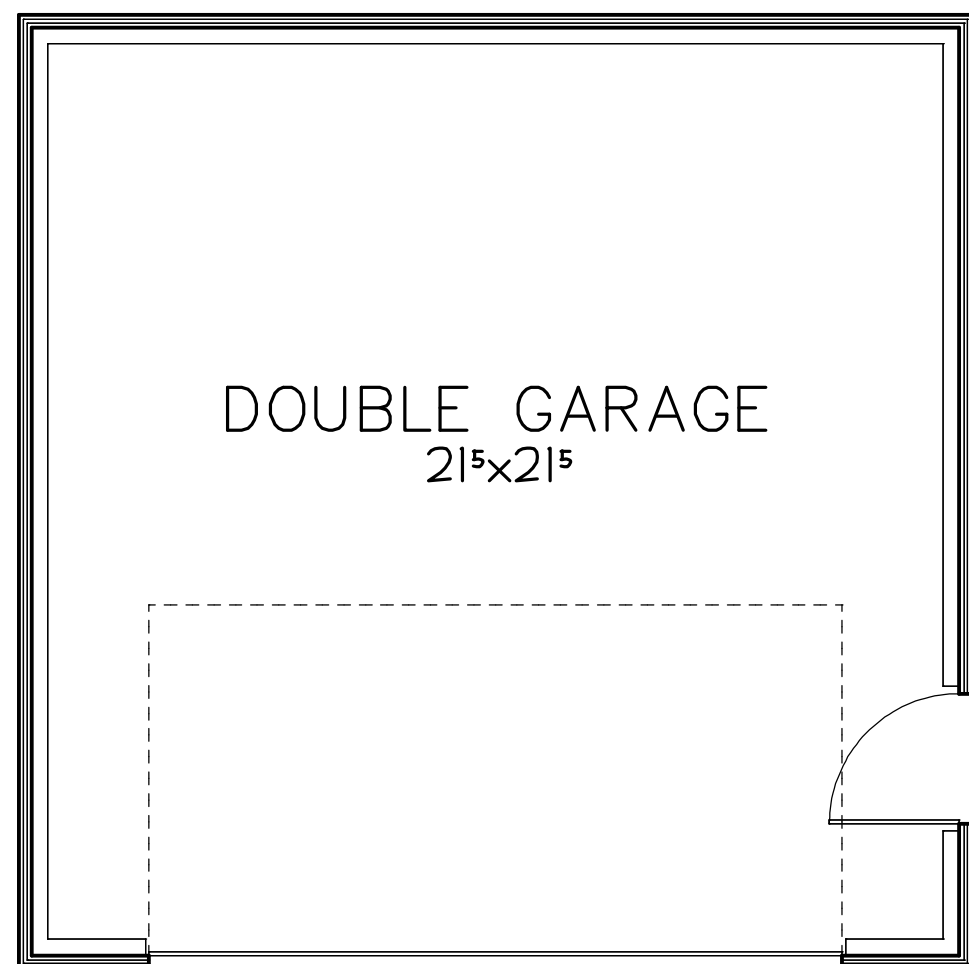
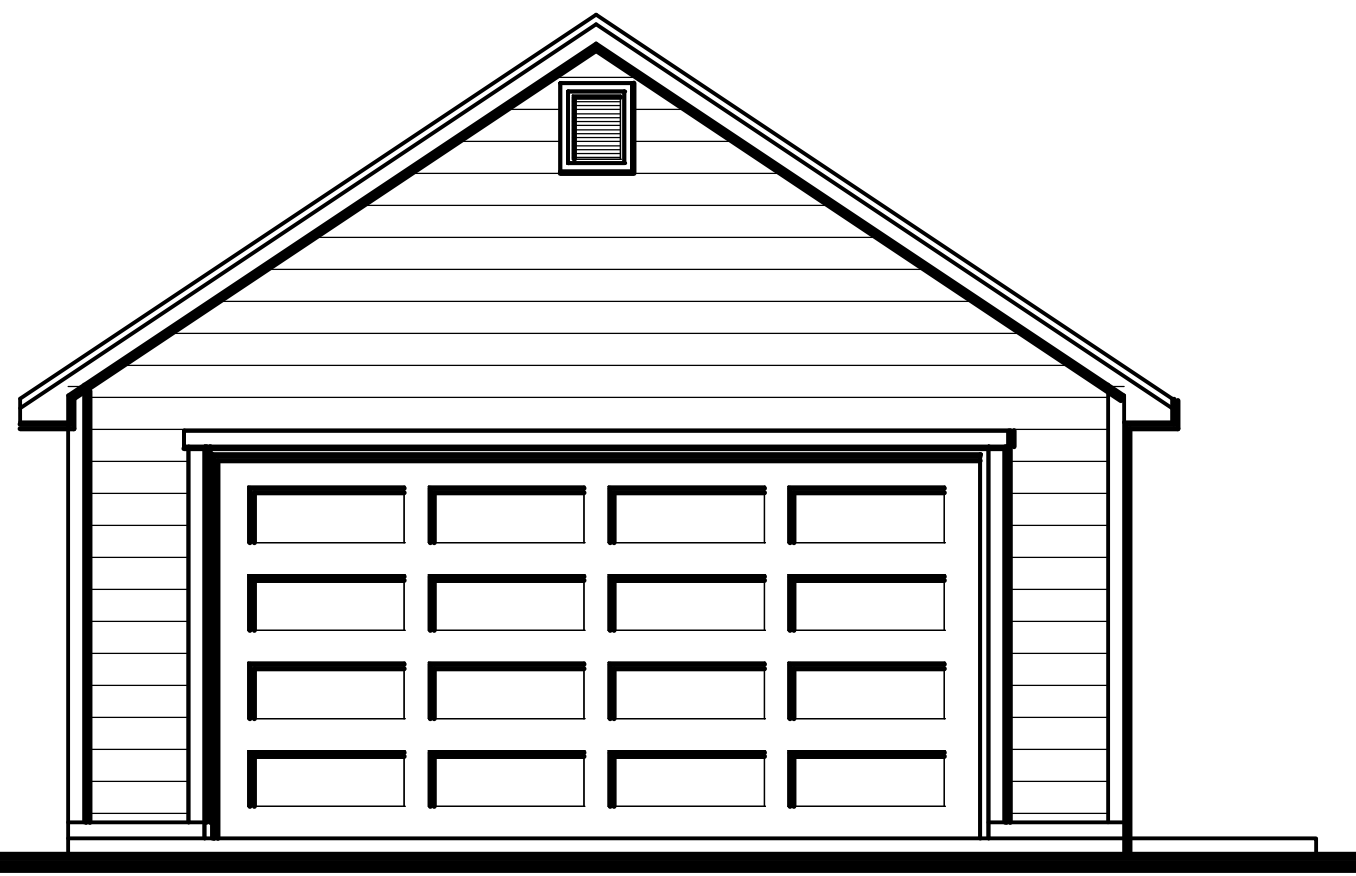
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LOmond View
DESIGN & CONSTRUCTION

ROOF FRAMING DETAILS
DRAWN: CWH
TYPE: ORIGINAL DRAWING
DATE: 11/20/2023
JOB NO.: 23069
PLAN NO.: 0-1-BB0/3-2-837-TWO-STORY

ENGINEER'S STAMP PERTAINS TO STRUCTURAL INFORMATION ONLY
NO. 189469
THOMAS A. HALES
STATE OF UTAH

SHEET S6.2



DOUBLE GARAGE
21'x21'

AREA = 484 SQ. FT.

METAL HOLDOWN SCHEDULE¹

MARK	SIMPSON HOLDOWN	ATTACHMENT	COMMENTS
LSTD8 OR LSTD8R1	LSTD8 OR LSTD8R1 (JOIST)	(20)-16d SINKER NAILS	STD10, STD14, HTT4, OR HDU4 MAY BE USED IN LIEU OF LSTD8
STD10 OR STD10R1	STD10 OR STD10R1 (RIM JOIST)	(28)-16d SINKER NAILS	STD14, HTT4, OR HDU4 MAY BE USED IN LIEU OF STD10
STD14 OR STD14R1	STD14 OR STD14R1 (RIM JOIST)	(30)-16d SINKER NAILS	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HTT4	HTT4	(18)-16d NAILS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HDU4	HDU4-SDS2.5	(10)-SDS1/4x1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HDU5	HDU5-SDS2.5	(14)-SDS1/4x1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 11" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT
HQ08	HQ08-SDS3	(20)-SDS1/4x3 SCREWS WITH 7/8" DIA. A307 ALL-THREAD ROD EXPOSED 11" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT

METAL HOLDOWN NOTES:
1. ALL HOLDOWNS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 4/S3.1.
2. USE RIM JOIST MODEL OF STRAP IF STRAP IS LOCATED AT A RIM JOIST; OTHERWISE, A NON-RIM JOIST MODEL MAY BE USED.

CONCRETE FOUNDATION WALL SCHEDULE

MARK	WIDTH ²	MAX. HEIGHT ^{2,4,5}	WALL REINFORCING		COMMENTS
			VERTICAL ⁵	HORIZONTAL ^{1,3}	
CFW2.ONR	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 18" O.C.	#4 AT 12" O.C.	SEE DETAIL 2/S3.1
CFW3.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 24" O.C.	#4 AT 12" O.C.	SEE DETAIL 2/S3.1
CFW4.0	8" MIN.	4'-0"	#4 AT 24" O.C.	#4 AT 15" O.C.	
CFW6.0	8" MIN.	6'-0"	#4 AT 24" O.C.	#4 AT 18" O.C.	
CFW8.0	8" MIN.	8'-0"	#4 AT 24" O.C.	#4 AT 19" O.C.	
CFW9.0	8" MIN.	9'-0"	#4 AT 16" O.C.	#4 AT 18" O.C.	
CFW10.0	8" MIN.	10'-0"	#4 AT 9" O.C.	#4 AT 12" O.C.	

CONCRETE FOUNDATION WALL NOTES:
1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
2. WALL HEIGHT MAY BE INCREASED AS NEEDED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS UNBALANCED WALL HEIGHT (HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED 12".
3. UNLESS NOTED OTHERWISE, PLACE HORIZONTAL REINFORCING IN THE CENTER OF THE WALL THICKNESS.
4. PROVIDE NOTCHES AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR OPENINGS AND WHERE CONCRETE SLABS POUR OVER THE TOP OF FOUNDATION WALLS.
5. O.C. FOR BEAM DEPTH GREATER THAN 12 IN.
6. PROVIDE VERTICAL REBAR DOWELS TO MATCH VERTICAL WALL REBAR SIZE AND SPACING TO THE FTG. TO FDN. WALL TO BE BACKFILL SHALL BE CLASSIFICATION TYPES GW, GP, SW, OR SP PER IBC TABLE 1610.1. SOIL SHALL NOT BE SUBMERGED OR SATURATED IN GROUND WATER.
8. SEE PLAN FOR ACTUAL WALL WIDTH; FOR 12" OR THICKER WALLS, PROVIDE 2 LAYERS OF REINFORCING (2" FROM EACH FACE).

WOOD BEAM/HEADER SCHEDULE^{4,6}

MARK ¹	SIZE ^{2,3}	COMMENT	MARK ¹	SIZE ^{2,3}	COMMENTS
WB2-BDF ⁴ TYP. U.N.O.	(2)-2x8 FOR 2x4 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12'-0" UNLESS NOTED OTHERWISE IN BASEMENTS WITH CEILING HEIGHTS GREATER THAN 7'-10".	WB2-5.5VL	(2)-1.3/4"x5.1/2" LVL	
WB3-BDF ⁴ TYP. U.N.O.	(3)-2x8 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12'-0" UNLESS NOTED OTHERWISE IN BASEMENTS WITH CEILING HEIGHTS GREATER THAN 7'-10".	WB2-7.25VL	(2)-1.3/4"x7.1/4" LVL	
WB2-10DF ⁴ TYP. U.N.O.	(2)-2x10 FOR 2x4 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12'-0" UNLESS NOTED OTHERWISE IN BASEMENTS WITH CEILING HEIGHTS GREATER THAN 7'-10".	WB2-9.5VL	(2)-1.3/4"x9.1/2" LVL	
WB3-10DF ⁴ TYP. U.N.O.	(3)-2x10 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12'-0" UNLESS NOTED OTHERWISE IN BASEMENTS WITH CEILING HEIGHTS GREATER THAN 7'-10".	WB2-11.88VL	(2)-1.3/4"x11.7/8" LVL	
WB2-6DF	(2)-2x6 DF#2	WB2-5.5VL MAY BE USED AS ALTERNATE	WB2-14VL	(2)-1.3/4"x14" LVL	
WB2-8DF	(2)-2x8 DF#2	WB2-7.25VL MAY BE USED AS ALTERNATE	WB2-16VL	(2)-1.3/4"x16" LVL	
WB2-10DF	(2)-2x10 DF#2	WB2-7.25VL MAY BE USED AS ALTERNATE	WB3-5.5VL	(3)-1.3/4"x5.1/2" LVL	
WB2-12DF	(2)-2x12 DF#2	WB2-9.5VL MAY BE USED AS ALTERNATE	WB3-7.25VL	(3)-1.3/4"x7.1/4" LVL	
WB3-6DF	(3)-2x6 DF#2	WB3-5.5VL MAY BE USED AS ALTERNATE	WB3-9.5VL	(3)-1.3/4"x9.1/2" LVL	
WB3-8DF	(3)-2x8 DF#2	WB3-7.25VL MAY BE USED AS ALTERNATE	WB3-11.88VL	(3)-1.3/4"x11.7/8" LVL	
WB3-10DF	(3)-2x10 DF#2	WB3-7.25VL MAY BE USED AS ALTERNATE	WB3-14VL	(3)-1.3/4"x14" LVL	
WB3-12DF	(3)-2x12 DF#2	WB3-9.5VL MAY BE USED AS ALTERNATE	WB3-16VL	(3)-1.3/4"x16" LVL	

WOOD BEAM NOTES:
1. BEAM MARKS WITH "DF" DESIGNATES THE USE OF DOUGLAS FIR-LARCH NO. 2 OR BETTER STANDARD LUMBER. BEAM MARKS WITH "LVL" DESIGNATES THE USE OF ENGINEERED LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES: $F_b = 2600$ psi, $F_v = 285$ psi, $E = 1.9x10^6$ psi.
2. 2"x6" BEAM SIZES SHOWN ARE NOMINAL BEAM DIMENSIONS AND 1"x6" BEAM DIMENSIONS ARE BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO CREATE THE WALL THICKNESS.
3. MULTIPLE MEMBER BEAMS/HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 IN. OR LESS. USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
4. CONTACT THE ENGINEER FOR BEAM/HEADER SIZES WITH SPANS GREATER THAN 5'-2" THAT ARE NOT NOTED ON THE DRAWINGS.
5. "FLUSH", WHEN NOTED ON PLANS, INDICATES TO PLACE THE BEAM SO THAT THE TOP AND/OR BOTTOM OF THE BEAM IS FLUSH WITH THE SUPPORTED FRAMING.
6. DO NOT USE LVL BEAMS WHERE THEY MAY BE EXPOSED TO WEATHER (E.G. DECK FRAMING).

SHEAR WALL CONSTRUCTION

WALL MARK	PANEL MATERIAL ^{5,6}	SIDES	PANEL ATTACHMENT		WALL ANCHORAGE		COMMENTS		
			PANEL FASTENER ^{3,9}	EDGE NAILING	FIELD NAILING	ANCHOR BOLT/ ^{1,7} FASTENER			
SW1	1/2" GYPSUM WALLBOARD ¹	BOTH SIDES	BLOCKED	NO. 6x1.1/4" SCREWS	4" O.C.	16" O.C.	16d NAILS	4" O.C.	USE SW4 AS ALTERNATE
SW2	7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	4" O.C.	12" O.C.	5/8" x12" A.B.	32" O.C.	SEE NOTE 8 BELOW
SW3	7/16" OSB SHEATHING ¹¹	BOTH SIDES	BLOCKED	8d NAILS	4" O.C.	12" O.C.	NON-RESIDENTIAL 5/8" x12" A.B.	16" O.C.	SEE NOTE 8 & 11 BELOW
SW4	3/8" OR 7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	6" O.C.	12" O.C.	RESIDENTIAL	32" O.C.	SEE NOTE 8 BELOW
SW5	7/16" OSB SHEATHING U.N.O.	BOTH SIDES	BLOCKED	SEE DETAIL 5/S3.1	SEE DETAIL 5/S3.1	SEE DETAIL 5/S3.1	SEE DETAIL 5/S3.1	SEE DETAIL 5/S3.1	SEE NOTE 8 BELOW

SHEAR WALL NOTES:
1. ANCHOR BOLTS SHALL HAVE 7" MIN. EMBEDMENT (ALL-THREAD EPOXY BOLTS W/ 7" MIN. EMBEDMENT MAY BE USED IN LIEU OF A.B. - SEE 3/S3.1)
2. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES FOR WALLS INDICATED TO BE "BLOCKED"
3. 2"x6" BEAM SIZES SHOWN ARE NOMINAL BEAM DIMENSIONS AND 1"x6" BEAM DIMENSIONS ARE BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO CREATE THE WALL THICKNESS.
4. USE 5/8" FIRE-RATED WALLBOARD WHERE REQUIRED FOR FIRE SEPARATION.
5. 3/8" OR 7/16" OSB SHEATHING SHALL BE USED IN LIEU OF GYPSUM WALLBOARD FOR ALL SHEAR/BRACED WALLS USING GYPSUM WALLBOARD NOTED ABOVE. ATTACH W/ 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN-FIELD. SOLID BLOCK.
6. OSB SHEATHING SHALL BE APA RATED (INT. GRADE WITH EXT. GLUE) WITH A MINIMUM 24/0 SPAN RATING.
7. USE 16d NAILS AT 4" O.C. WALL ANCHORS. WALL RESTS ON WOOD FLOOR FRAMING AND NOT DIRECTLY ON FOUNDATION WALL OR FOOTING.
8. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED TO THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS (U.N.O.).
9. 16 GAGE STAPLES WITH 7/16" MIN. CROWN WIDTH AND 1" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR WALLS.
10. PROVIDE SHEATHING ON SIDE OF WALL WHERE MARK/LABEL IS LOCATED.
11. WHEN PANELS ARE APPLIED ON BOTH FACES OF A WALL PANEL JOINT SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3" NOMINAL OR THICKER AT ADJOINING PANEL EDGES AND NAILS ON EACH SIDE SHALL BE STAGGERED.

CONCRETE FOOTING SCHEDULE^{1,2,3}

MARK	WIDTH	LENGTH	THICK.	CROSSWISE REINFORCING			LENGTHWISE REINFORCING				
				NO.	SIZE	LENGTH SPACE	NO.	SIZE	LENGTH SPACE		
CONTINUOUS FOOTINGS											
FC1.5	1'-8"	CONT.	10"	N/A	N/A	N/A	N/A	2	#4	CONT.	12"
FC1.7	1'-8"	CONT.	10"	N/A	N/A	N/A	N/A	2	#4	CONT.	14"
FC2.0	2'-0"	CONT.	12"	N/A	N/A	N/A	N/A	3	#4	CONT.	9"
FC2.5	2'-6"	CONT.	12"	#4	2'-0"	12"	4	#4	CONT.	8"	
FC3.0	3'-0"	CONT.	12"	#4	2'-6"	12"	5	#4	CONT.	7.5"	
FC3.5	3'-6"	CONT.	12"	#4	3'-0"	12"	5	#4	CONT.	9"	
SQUARE FOOTINGS											
FS2.0	2'-0"	2'-0"	12"	3	#4	1'-6"	9"	3	#4	1'-6"	9"
FS2.5	2'-6"	2'-6"	12"	4	#4	2'-0"	8"	4	#4	2'-0"	8"
FS3.0	3'-0"	3'-0"	12"	5	#4	2'-6"	7.5"	5	#4	2'-6"	7.5"
FS3.5	3'-6"	3'-6"	12"	5	#4	3'-0"	9"	5	#4	3'-0"	9"
FS4.0	4'-0"	4'-0"	12"	6	#4	3'-6"	8.4"	6	#4	3'-6"	8.4"
FS4.5	4'-6"	4'-6"	12"	7	#4	4'-0"	8"	7	#4	4'-0"	8"
FS5.0	5'-0"	5'-0"	14"	8	#4	4'-6"	7.7"	8	#4	4'-6"	7.7"

CONCRETE FOOTING NOTES:
1. PLACE ALL FOOTING REINFORCING IN BOTTOM OF FOOTING WITH 3" CLEAR CONCRETE COVER UNLESS NOTED OTHERWISE.
2. ALSO PROVIDE SCHEDULED REINFORCING AT TOP OF FOOTING WHEN NOTED ON PLANS.
3. FC - CONTINUOUS FOOTING; FS - SQUARE FOOTING

METAL CONNECTOR SCHEDULE

MARK	SIMPSON CONNECTOR	ATTACHMENT ¹	COMMENTS
A34	A34 ANCHOR	(8)-8d NAILS	
A35	A35 ANCHOR	(12)-8d NAILS	
CS14x40	CS14x40" LONG STRAP	FILL HOLES WITH 10d NAILS	
CS14x48	CS14x48" LONG STRAP	FILL HOLES WITH 10d NAILS	
CS16x40	CS16x40" LONG STRAP	FILL HOLES WITH 8d NAILS	
CS16x48	CS16x48" LONG STRAP	FILL HOLES WITH 8d NAILS	
DSC5R ¹	DSC5R/A-SDS3 TWIST STRAP	(24)-SDS 1/4"x3"	
H1	H1 ANCHOR	(10)-8d NAILS	
HTS30C ¹	HTS30C TWIST STRAP	(20)-10d NAILS	
LTP4	LTP4 ANCHOR	(12)-8d NAILS	
MST37	MST37 STRAP	(42)-16d NAILS	
MST48	MST48 STRAP	(34)-16d NAILS	
MSTA21	MSTA21 STRAP	(16)-10d NAILS	
MSTC48B3	MSTC48B3 STRAP	(54)-10d NAILS	SEE DETAIL 6/S5.2
MTS24C ¹	MTS24C TWIST STRAP	(14)-10d NAILS	
MTS30C ¹	MTS30C TWIST STRAP	(14)-10d NAILS	

METAL CONNECTOR NOTES:
1. USE 1/2" LONG NAILS WHEN INSTALLED IN 1.1/2" WOOD THICKNESS. OTHERWISE USE FULL LENGTH NAILS.
2. STRAP MAY REQUIRE BEING INSTALLED PRIOR TO INSTALLATION OF WALL SHEATHING, AND/OR ADJACENT FRAMING, AND/OR SETTING TRUSSES. COORDINATE AS NECESSARY.

GENERAL STRUCTURAL NOTES

I. CONCRETE, FOOTINGS, AND FOUNDATIONS:

- SOIL BEARING PRESSURE IS ASSUMED TO BE AT LEAST 1500 PSF BY OWNER. NOTIFY THE ENGINEER IF THE SOIL BEARING PRESSURE IS FOUND TO BE LESS THAN 1500 PSF.
- ALL FOOTINGS SHALL BE ESTABLISHED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. ALL EXTERIOR FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 30", OR THE LOCAL FROST DEPTH, WHICHEVER IS GREATER, FINISHED GRADE.
- THE NATURAL UNDISTURBED SOIL BELOW ALL FOOTINGS SHALL BE VERIFIED FOR BEARING SUITABILITY. REMOVE ALL SOFT SPOTS AND REPLACE WITH COMPACTED STRUCTURAL FILL.
- COMPACTED STRUCTURAL FILL: ALL FILL MATERIAL SHALL BE A WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM SIZE LESS THAN 4" INCHES AND WITH NOT MORE THAN 10 PERCENT FINER THAN NO. 200 SIEVE. IT SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557. ALL FILL SHALL BE TESTED. COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" INCHES IN UNCOMPACTED THICKNESS.
- ALL CONCRETE SLABS SHALL BE PLACED OVER 4" MINIMUM FREE DRAINING GRANULAR BASE OVER UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS AS PER DETAILS.
- THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS AND FOUNDATIONS SHALL BE 2500 psi FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 3000 psi FOR RESIDENTIAL STRUCTURES. USE 4000 psi FOR REINFORCED SLABS AND ALL OTHER CONCRETE.
- REINFORCEMENT STEEL SHALL BE GRADE 60 ($F_y = 60$ KSI).
- SUSPENDED SLABS AND ANY SUPPORTING STEEL BEAMS SHALL BE APPROPRIATELY FULLY SHORED 14 DAYS MINIMUM.
- AT CONTRACTOR'S AND/OR OWNER'S OPTION USE EPOXY COATED REBAR IN SUSPENDED SLABS FOR EXTENDED SLAB LIFE.
- EPOXY BOLTS SHALL BE ALL-THREAD GRADE A307 MIN. SMOOTH SHANK OR EXPANSION BOLTS (WEDGE ANCHORS) SHALL NOT BE USED.
- REINFORCEMENT STEEL SHALL MEET THE FOLLOWING CONCRETE COVER REQUIREMENTS:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ----- 3"
 - FORMED CONCRETE EXPOSED TO EARTH OR WEATHER ----- 1 1/2"
 - FORMED CONCRETE NOT EXPOSED TO EARTH OR WEATHER ----- 3/4"
- REINFORCEMENT STEEL SHALL HAVE THE FOLLOWING MINIMUM LAP SPLICE LENGTHS, UNLESS NOTED OTHERWISE ON DRAWINGS:
 - 30 BAR DIA. FOR #3 AND #4 BARS
 - 40 BAR DIA. FOR #5 THRU #8 BARS
- FOR ALL OPENINGS LESS THAN 6'-6" IN CONCRETE FOUNDATION WALLS, PROVIDE A DEEP CONCRETE HEADER WITH REBAR MINIMUM UNLESS NOTED OTHERWISE. EXTEND BARS 24" MINIMUM BEYOND EDGE OF THE OPENING AND PLACE BARS 2" ABOVE TOP OF OPENING. CONTACT THE ENGINEER FOR REINFORCING OF OPENINGS GREATER THAN 6'-6" IF NOT NOTED ON PLANS.
- FOUNDATION ANCHOR BOLTS SHALL BE 5/8" DIA. x12" MIN. FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 1/2" DIA. x10" MIN. FOR RESIDENTIAL STRUCTURES UNLESS NOTED OTHERWISE. SPACING OF ANCHOR BOLTS SHALL BE 12" O.C. MAXIMUM WITH ONE LOCATED AT LEAST 4" TO 12" FROM EACH END OF SILL PLATE. SEE SHEAR WALL SCHEDULE FOR MORE STRINGENT ANCHOR BOLT REQUIREMENTS AT SPECIFIC SHEAR WALLS.
 - PROVIDE 7" MIN. EMBEDMENT INTO CONCRETE
 - USE 2" DIA. WASHERS AND 1/2" DIA. ANCHOR PLATE ANCHORAGE.
 - EPOXY BOLTS MAY BE USED IN LIEU OF ANCHOR BOLTS (SEE DETAIL 3/S3.1).

II. WOOD FRAMING:

- MATERIALS:
 - GLU-LAM TIMBER: 24F-V4 DF/DF
 - FRAMING LUMBER: DOUGLAS FIR-LARCH NO. 2 OR BETTER
 - SHEATHING: APA RATED INT. GRADE WITH EXT. GLUE AS FOLLOWS WITH THE FOLLOWING MINIMUM NAILING REQUIREMENTS, U.N.O. PLACE ROOF AND FLOOR SHEATHING IN STAGGERED LAYOUT.
 - ROOF: 5/8" THICK OSB PANELS WITH A 32/16 SPAN RATING (7/16" THICK PANELS WITH 24/16 SPAN RATING) MAY BE USED FOR RESIDENTIAL BUILDINGS WITH SNOW LOADS NOT MORE THAN 40 PSF. NAIL ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES, BLOCKING, TRUSS DRAG STRIPS, AND GABLE END WALLS (TRUSSES) AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSIONAL TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS. (8d NAILS MAY BE USED WITH 7/16" PANELS).
 - FLOOR: 3/4" THICK TONGUE AND GROOVE OSB PANELS, GLUE AND NAIL ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES AND BLOCKING AND AT 10" O.C. AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS.
 - WALLS: 7/16" THICK OSB PANELS. UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE, NAIL PANELS WITH 8d COMMON NAILS AT 4" O.C. AT ALL EDGES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - 16 GAGE STAPLES WITH 7/16" MIN. CROWN WIDTH AND 1" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR WALLS.
- PROVIDE SUPPORT STUDS AT THE ENDS OF ALL BEAMS, HEADERS, AND GIRDER TRUSSES AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - SPANS LESS THAN 8'-0": 1 SUPPORT STUD MINIMUM.
 - SPANS 8'-0" TO 10'-0": 2 SUPPORT STUDS MINIMUM.
 - SPANS 10'-0" TO 14'-0": 3 SUPPORT STUDS MINIMUM.
 - SPANS GREATER THAN 14'-0": 4 SUPPORT STUDS MINIMUM.
- ADDITIONALLY, SUPPORT STUDS SHALL AT LEAST MATCH THE WIDTH OF THE BEAM, HEADER, AND GIRDER TRUSS AND THE WIDTH OF THE SUPPORTING WALL.
- FOR SPANS OF 6'-0" AND GREATER, AT EXTERIOR WALLS, PROVIDE A MINIMUM OF 2 FULL HEIGHT KING STUDS (TOP PLATE TO BOTTOM PLATE) AT THE ENDS OF ALL BEAMS, UNLESS NOTED OTHERWISE. FOR SPANS LESS THAN 6'-0", PROVIDE A MINIMUM OF ONE FULL HEIGHT KING STUD.
- USE APPROPRIATE SIMPSON POST CAPS / RISERS TO CONNECT BEAMS TO POSTS / STUDS FOR SPANS OF 6'-0" AND GREATER.
- ALL WOOD POSTS SHALL HAVE APPROPRIATE SIMPSON POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 300 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 4" STANDBOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PERS OR FOOTINGS.
- USE APPROPRIATE SIMPSON HANGERS WHERE JOISTS AND BEAMS NEED TO HANG FROM SUPPORTING BEAMS. USE TOP FLANGE HANGERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL METAL CONNECTORS, STRAPS, HOLDOWNS, HANGERS, ETC. CALLED OUT ON THE DRAWINGS SHALL BE INSTALLED WITH APPROPRIATE NAILS, SCREWS, BOLTS, ATTACHMENTS, ETC. AS PER THE MANUFACTURER'S RECOMMENDATIONS.

- 2-PLY AND 3-PLY MEMBER BEAMS AND HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 INCHES OR LESS. USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 INCHES. 4-PLY MEMBER BEAMS SHALL HAVE 2 ROWS OF 1/2" DIA. THRU-BOLTS WITH WASHERS AT 12" O.C. IN ADDITION TO THE NAILING SPECIFIED ABOVE.
- BEARING AND EXTERIOR WALLS SHALL BE CARPPED WITH DOUBLE TOP PLATES. END JOINTS OF STUDS IN DOUBLE TOP PLATES SHALL BE SPACED AT LEAST 18" O.C. AND NAILED WITH 16d NAILS AT 4" O.C. WITHIN THE OVERLAPPED LENGTH. OVERLAP THE PLATES AT CORNERS AND AT INTERSECTIONS.
- EXTERIOR WALLS SHALL HAVE SHEATHING PROVIDED AND NAILED AS PER THE SHEAR WALL SCHEDULE AND GENERAL NOTES TO FUNCTION AS SHEAR OR BRACED WALLS.
- ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- ATTACH ALL ROOF TRUSSES AND RAFTERS TO ALL BEARING WALLS AND BEAMS WITH SIMPSON H1 ANCHORS, UNLESS NOTED OTHERWISE. PROVIDE SOLID BLOCKING BETWEEN TRUSSES.
- UNLESS NOTED OTHERWISE ON DRAWINGS, NAILING OF ALL STRUCTURAL MEMBERS SHALL COMPLY WITH TABLES R602.3(1) TO R602.3(5).

III. PRE-FABRICATED WOOD TRUSSES:

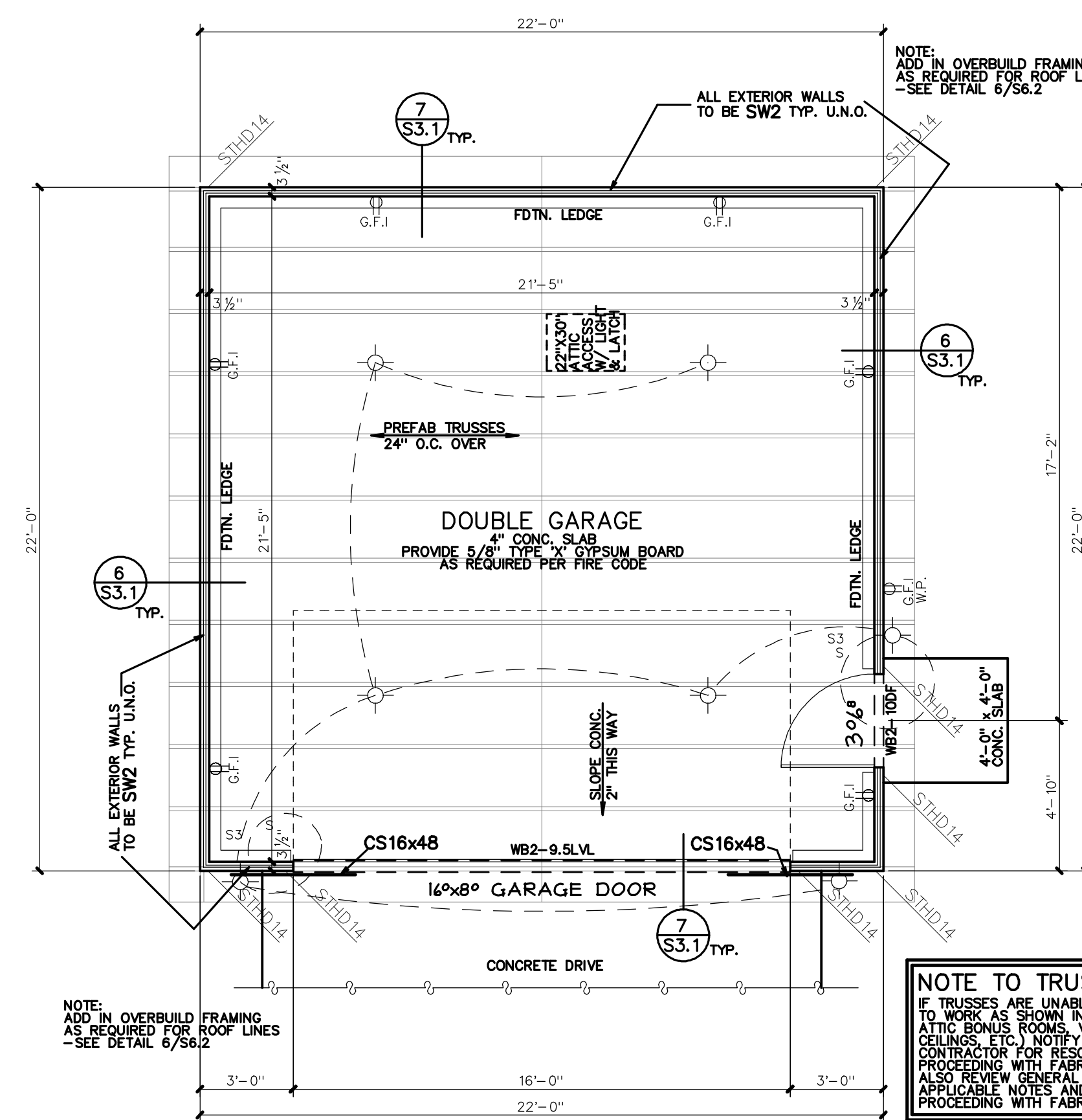
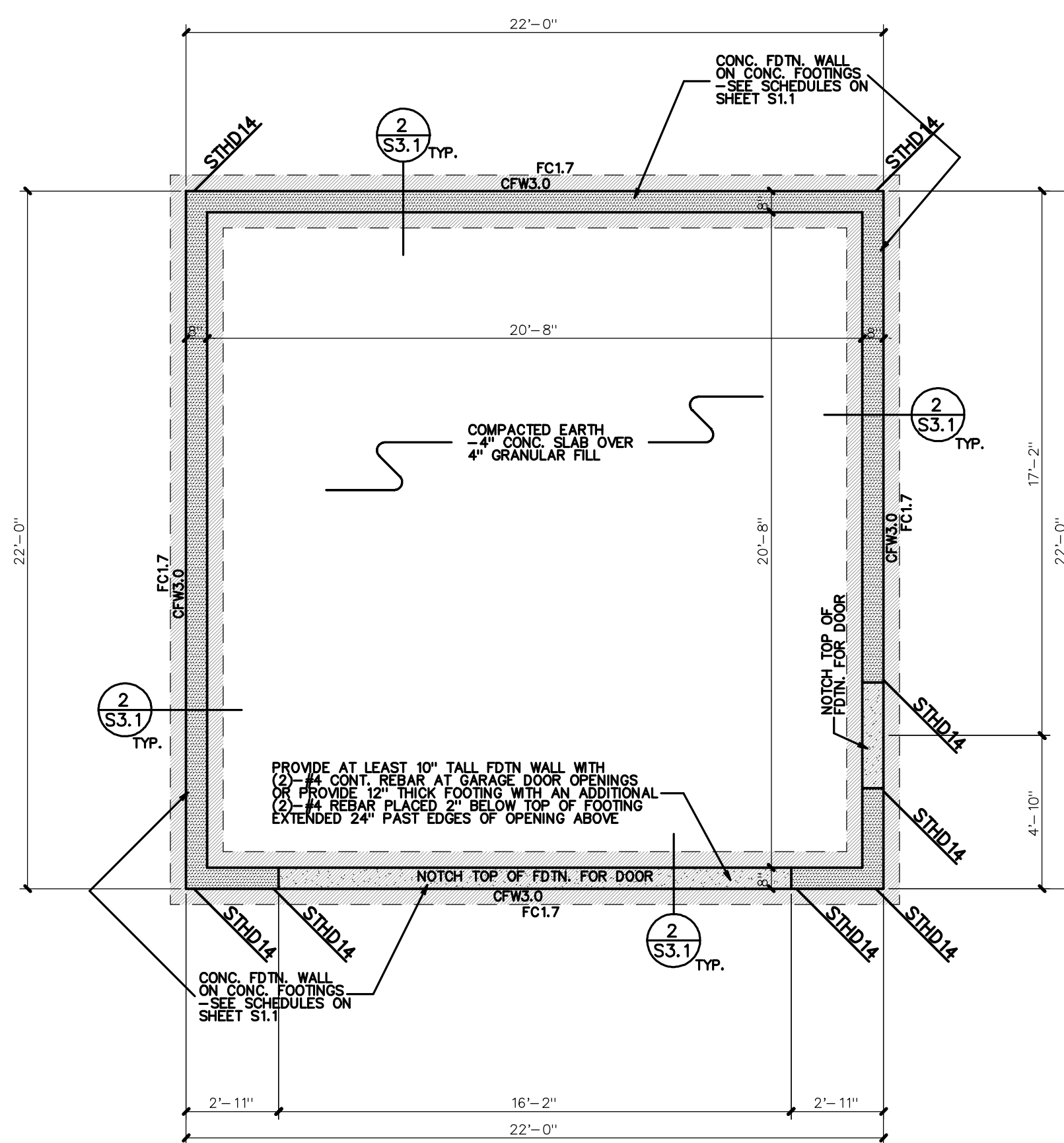
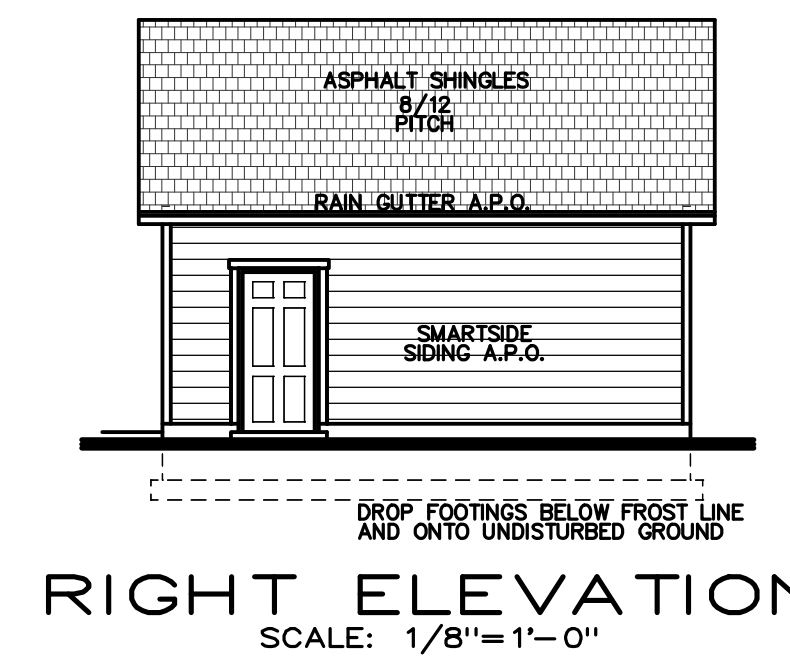
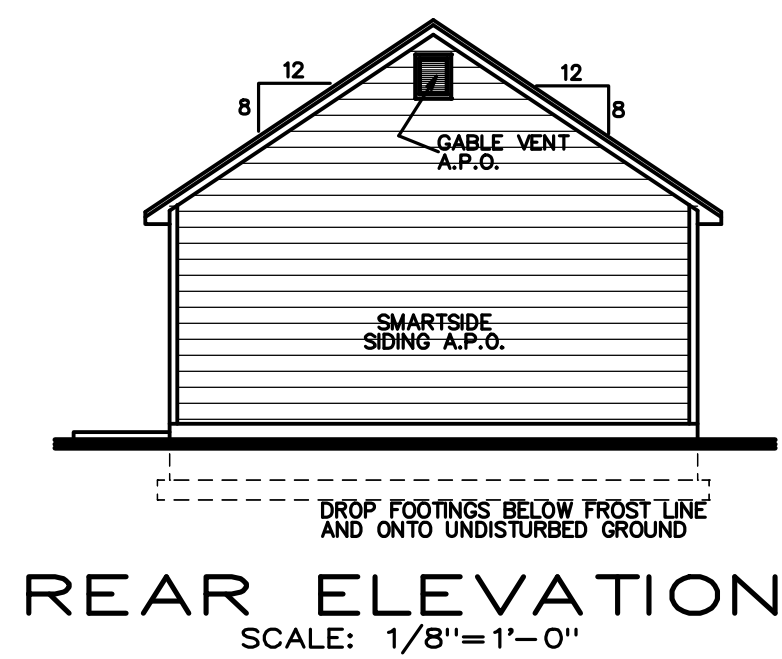
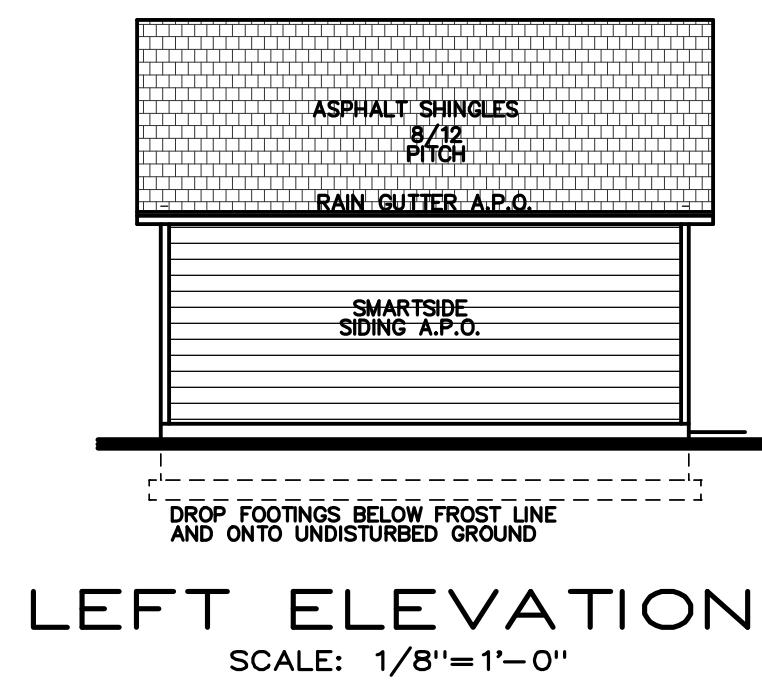
- THE TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE TRUSSES. THE TRUSSES SHALL BE DESIGNED TO MEET THE MINIMUM LOAD AND CODE REQUIREMENTS FOR THE GIVEN LOCALITY OF CONSTRUCTION AND SHALL BE APPROVED BY A LICENSED ENGINEER.
- IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- THE DESIGN AND BEARING OF TRUSSES SHALL BE COORDINATED WITH THE DRAWINGS. SEE WALL LEGEND ON SHEET S1.1 AND OTHER NOTES ON DRAWINGS FOR LOCATIONS OF BEARING WALLS. DO NOT DESIGN TRUSSES TO BEAR ON NON-BEARING WALLS.
- TRUSSES THAT EXTEND OUT OVER EXTERIOR BEARING WALLS TO COVER A PORCH, PATIO, OR DECK SHALL BE DESIGNED TO FUNCTION AS EXTERIOR BEARING WALLS TO TRANSFER LOAD AWAY FROM THE PORCH, PATIO, OR DECK BEAMS, UNLESS NOTED OTHERWISE.
- AT ROOF OVERLAP AREAS PROVIDE OVERBUILD TRUSSES AS PER TRUSS MANUFACTURER OR STICK FRAME.
- TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.
- SHOP DRAWING SUBMITTAL: CONTRACTOR SHALL SUBMIT COMPLETE CALCULATIONS AND SHOP DRAWINGS SHOWING PROPOSED TRUSS LAYOUT AND DESIGN TO BE REVIEWED BY THE ENGINEER BEFORE FABRICATION. THE REVIEW SHALL BE PERFORMED BY THE ENGINEER. CORRECTIONS TO THE SHOP DRAWINGS SHALL BE MADE IN ACCORDANCE WITH THE DESIGN CONCEPT ONLY. CORRECTIONS OR COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THE CONTRACTOR OF COMPLIANCE WITH THE REQUIREMENTS OF THE PLANS OR OF THE TRUSS SPECIFICATIONS. ALSO, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY PROPOSED DEVIATIONS FROM THE DESIGN CONCEPT SHOWN IN THESE PLANS.

IV. STRUCTURAL STEEL:

- MATERIALS:
 - WIDE FLANGE SECTIONS: ASTM A572 (50 ksi)
 - TUBES: ASTM A500 (48 ksi)
 - ANGLE: ASTM A36
 - PLATES: ASTM A36
 - OTHER SHAPES AND PLATES: ASTM A36
 - DEFORMED BAR ANCHORS (DBA): ASTM A496
 - DEFORMED BAR ANCHORS (DBA): ASTM A496
 - BOLTED CONNECTIONS: ASTM A325
 - ANCHOR BOLTS: ASTM A307
- FABRICATION AND CONSTRUCTION SHALL COMPLY WITH THE LATEST IBC AND AISC

V. BRICK VENEER:

- BRICK VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES. WHERE VENEER IS ANCHORED THROUGH CORRUGATED SHEET METAL, THE TIES SHALL BE 22 U.S. GAGE BY 8" MINIMUM AND THE DISTANCE SEPARATING THE VENEER FROM



NOTES TO FLOOR PLAN:

- SEE GENERAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP RESIST SEISMIC/WIND FORCES ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1. U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1. U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS RAFTER AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1. U.N.O. AT ROOF OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR SHOCK FRAME.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.
- PROVIDE ATTIC VENTILATION AND ATTIC ACCESS AS PER LOCAL CODE.
- PROVIDE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD AT AREAS AS REQUIRED BY LOCAL FIRE CODE.
- WINDOW FRAMING: ALL OPENABLE WINDOWS THAT HAVE A WINDOW SILL LOCATED ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW SHALL BE PLACED SO THAT THE WINDOW SILL IS AT LEAST 24" ABOVE THE INTERIOR FINISHED FLOOR OR WINDOW GUARD PROVIDED AS PER CODE. ALL WINDOWS USED FOR EGRESS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR.
- PROVIDE R-13 INSULATION MINIMUM IN 2x4 EXTERIOR WALLS, AND R-19 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS. PROVIDE R-38 INSULATION MINIMUM AT ALL INTERIOR TRUSS ATTIC SPACES AND RAFTER FRAMING.

NOTE TO TRUSS COMPANY:
IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED AND RAISED CEILINGS, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES. ALSO REVIEW GENERAL NOTES AND ALL OTHER APPLICABLE NOTES AND DETAILS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.

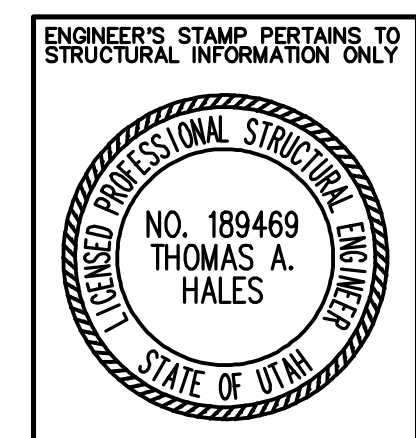
NOTE TO WINDOW/DOOR SUPPLIER:
ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED WITH THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETE AND VERIFIED AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOWS/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

CONSTRUCTION COST NOTE:
THE BUILDING DESIGN SHOWN IN THESE PLANS IS BASED ON DIRECTION PROVIDED TO US BY THE OWNER AND/OR GENERAL CONTRACTOR. WE HAVE NOT ATTEMPTED, AND IT IS OUT OF THE SCOPE OF OUR SERVICES, TO PROVIDE COST ESTIMATE SERVICES FOR THE CONSTRUCTION OF THIS BUILDING AND ASSOCIATED SITE IMPROVEMENTS, OR TO PROVIDE A DESIGN THAT IS SUITABLE FOR THE COST EXPECTATIONS OF THE OWNER. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR TO DETERMINE THE COST OF THE BUILDING AND ASSOCIATED SITE IMPROVEMENTS WILL BE SATISFACTORY TO THE OWNER'S EXPECTATIONS.

SITE AND LOT NOTE:
THE HOME DESIGN SHOWN IN THESE PLANS IS REFLECTIVE OF SITE CONDITIONS PROVIDED TO US BY THE OWNER AND/OR GENERAL CONTRACTOR. WE HAVE NOT ATTEMPTED, AND IT IS OUT OF THE SCOPE OF OUR SERVICES, TO EVALUATE THE SITE FOR SUITABILITY OF THE CONSTRUCTION OF THE HOME DESIGN SHOWN. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR TO ENSURE/VERIFY THAT THE SITE CONDITIONS (INCLUDING GRADE HEIGHTS, DRAINAGE, SLOPES, RETAINING AREAS, ETC.) ARE OR WILL BE MADE SUITABLE TO WORK WITH THE HOME DESIGN SHOWN.

DESIGN LOADS	
ROOF:	SNOW - 30 psf
	DEAD - 17 psf
FLOOR:	LIVE - 40 psf
	DEAD - 12 psf
DECK:	LIVE - 60 psf
	DEAD - 12 psf
GROUND SNOW LOAD - 43 psf	
ULTIMATE DESIGN WIND SPEED, V ₁₀₀ - 115 mph	
NOMINAL DESIGN WIND SPEED, V ₃₀ - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	

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ADDRESS: 2321 QUINCY AVE.
CITY: OGDEN STATE: UTAH
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DATE: 11/21/2023



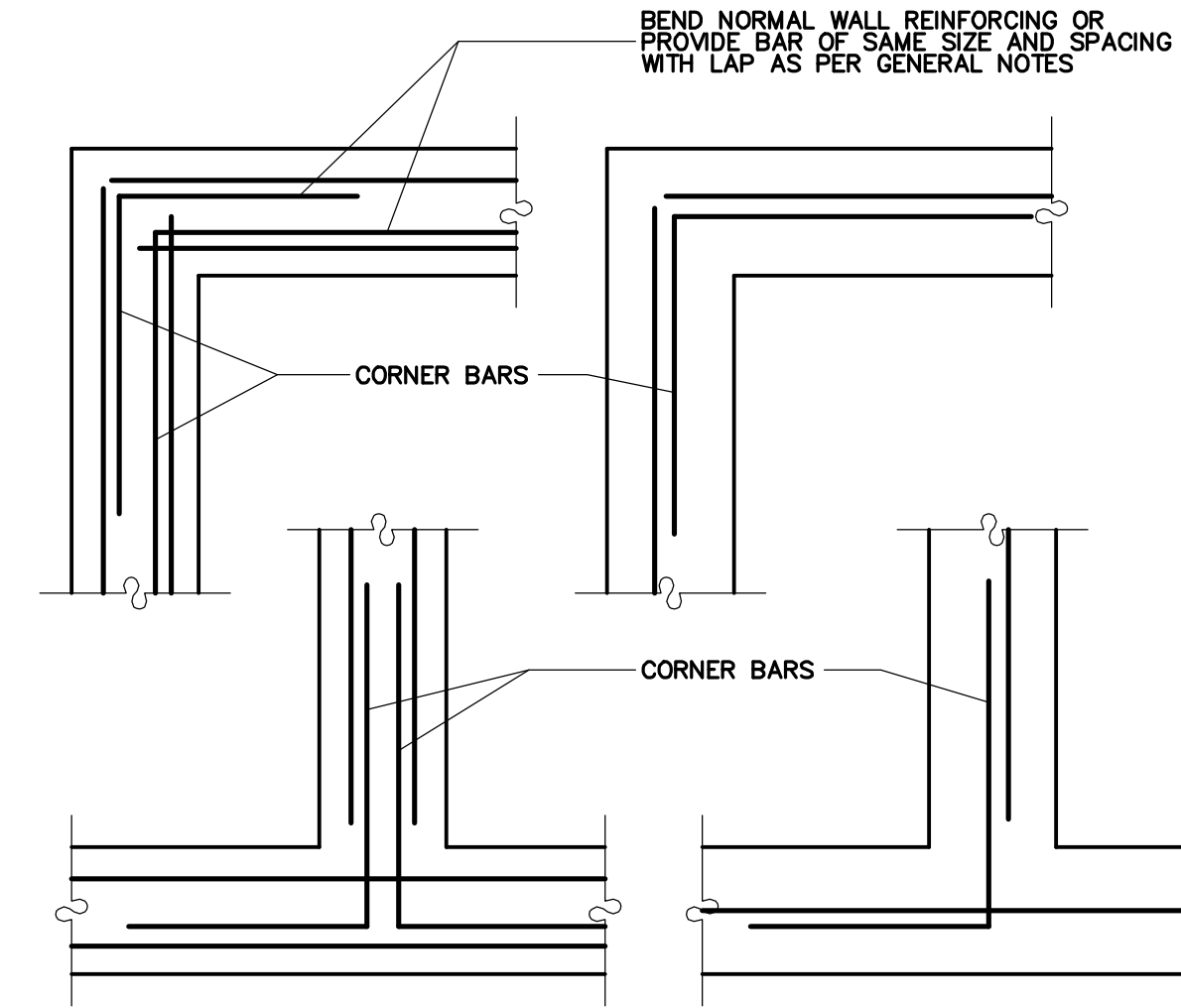
PLANS AND ELEVATIONS
DRAWN: CWH
DATE: 11/21/2023
JOB NO.: 23100
TYPE: CHG TO 048423103, #23098
SHEET: 2.1
TOTAL SHEETS: 12

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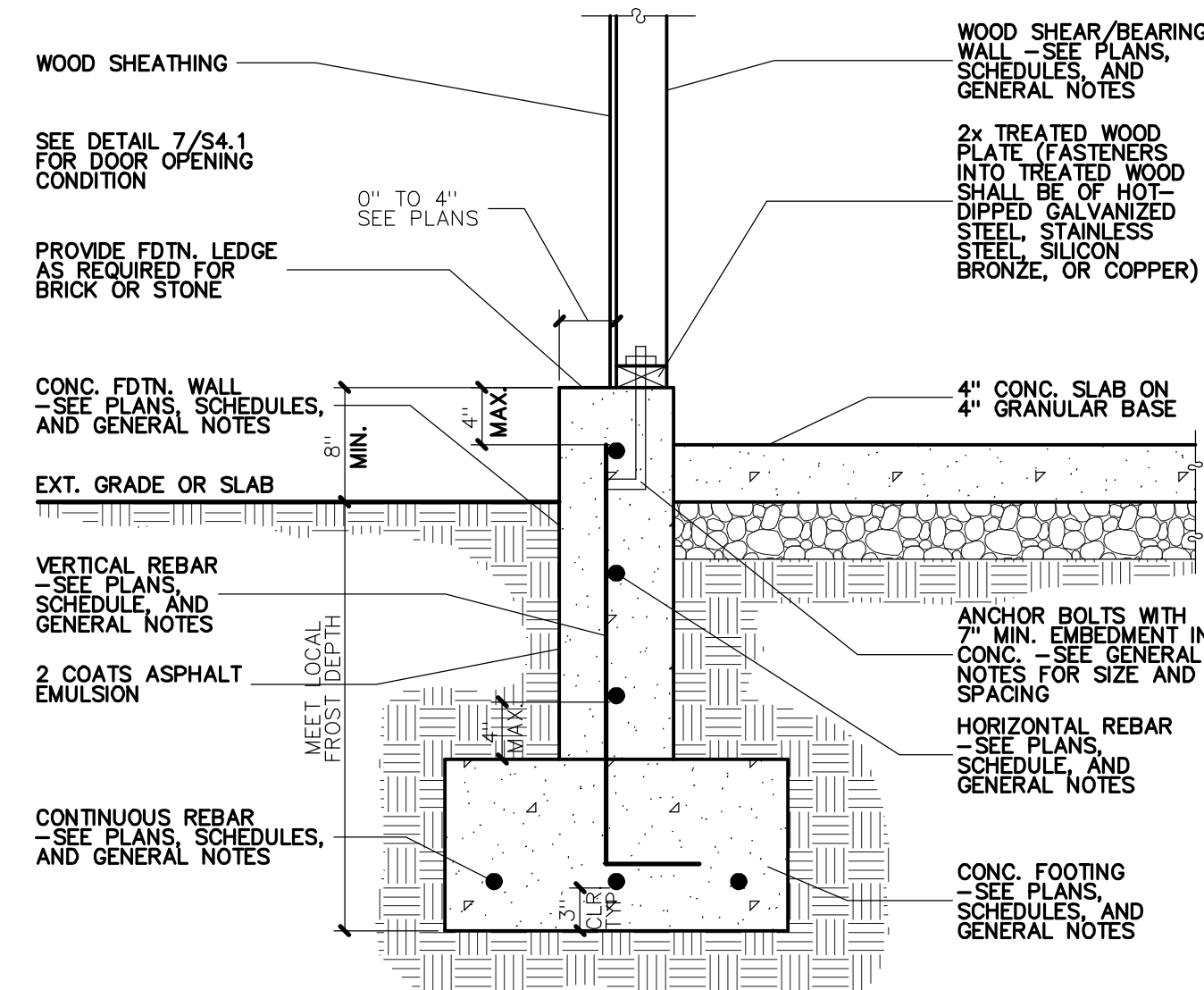
OGDEN CITY
FOR: **SYCAMORE COVE SUBDIVISION**
2321 QUINCY AVE.
OGDEN, UTAH

304 WEST PLEASANT VIEW DR.
OGDEN, UTAH 84414
PHONE: (801) 782-0484
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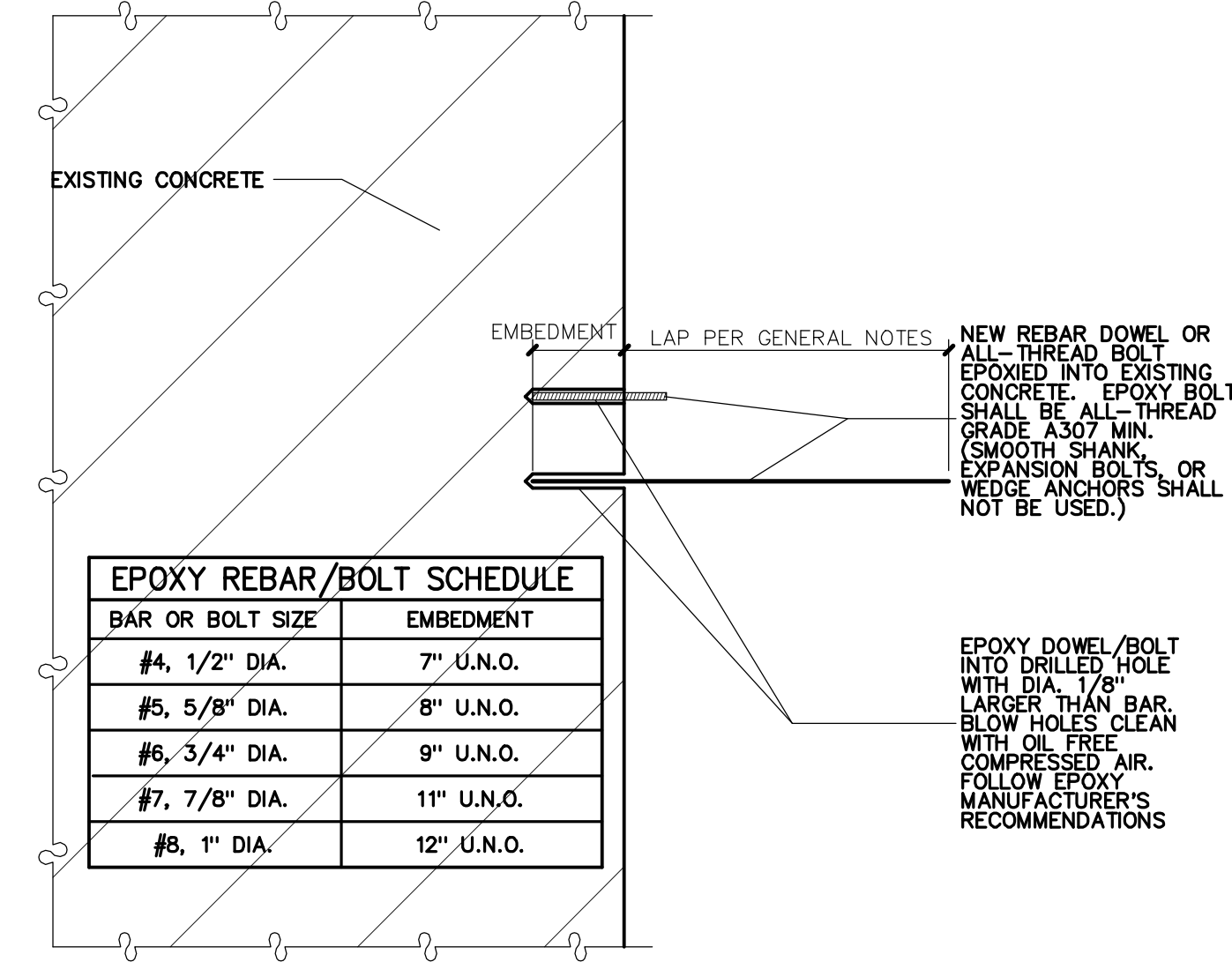




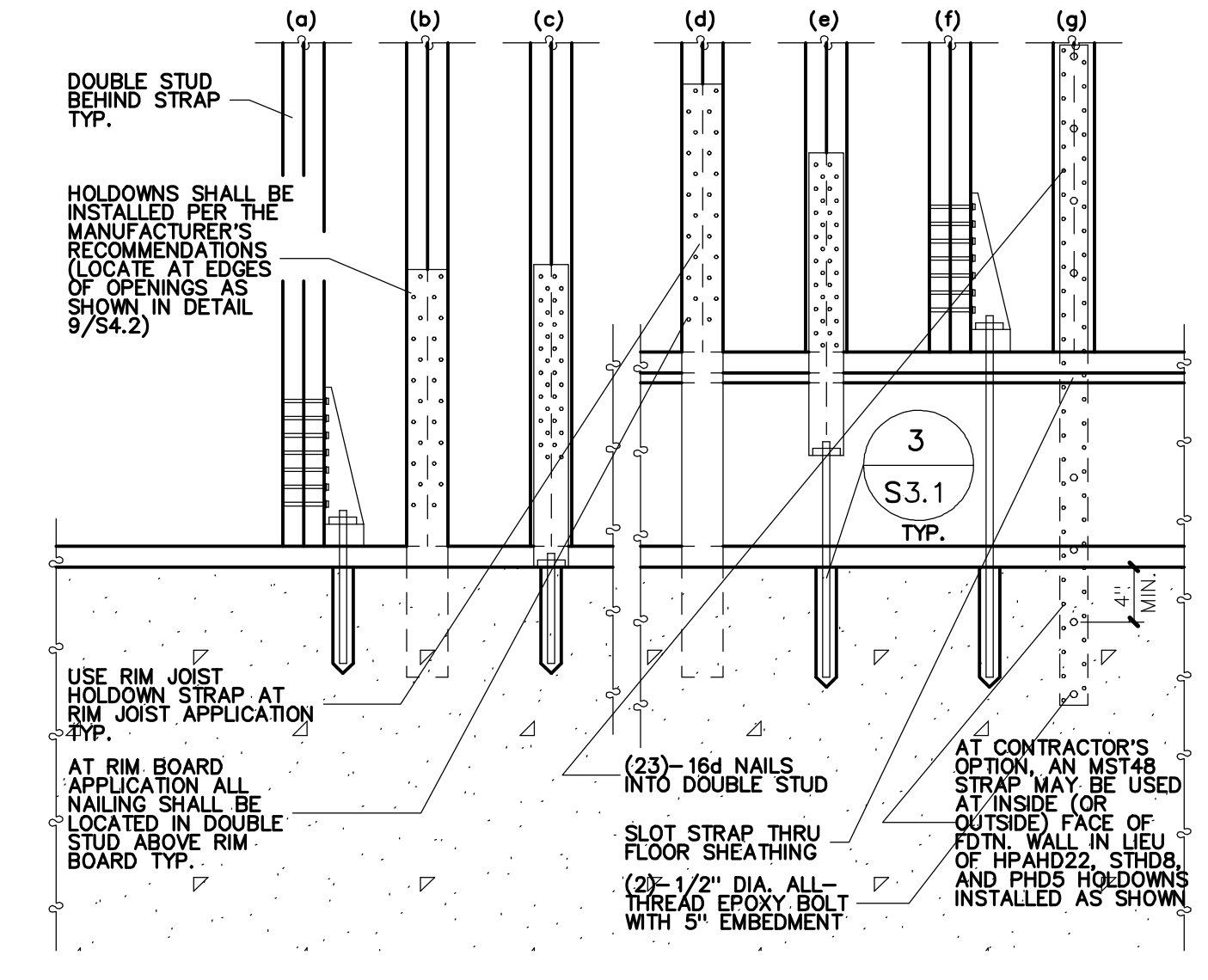
1
S3.1
CONC. FOUNDATION WALL/FOOTING CORNERS AND INTERSECTION
NO SCALE



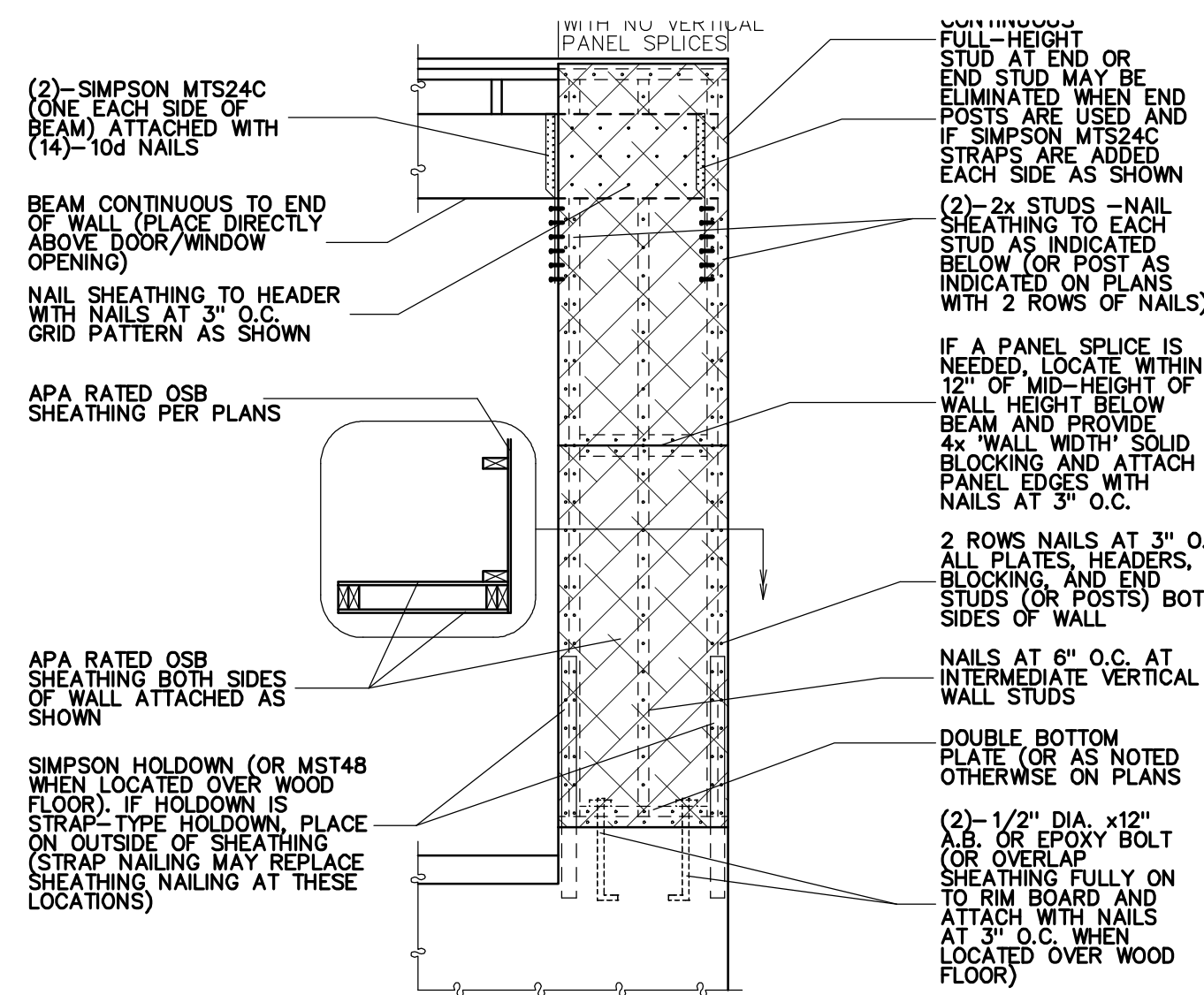
2
S3.1
GARAGE FOUNDATION WALL ON FOOTING
NO SCALE



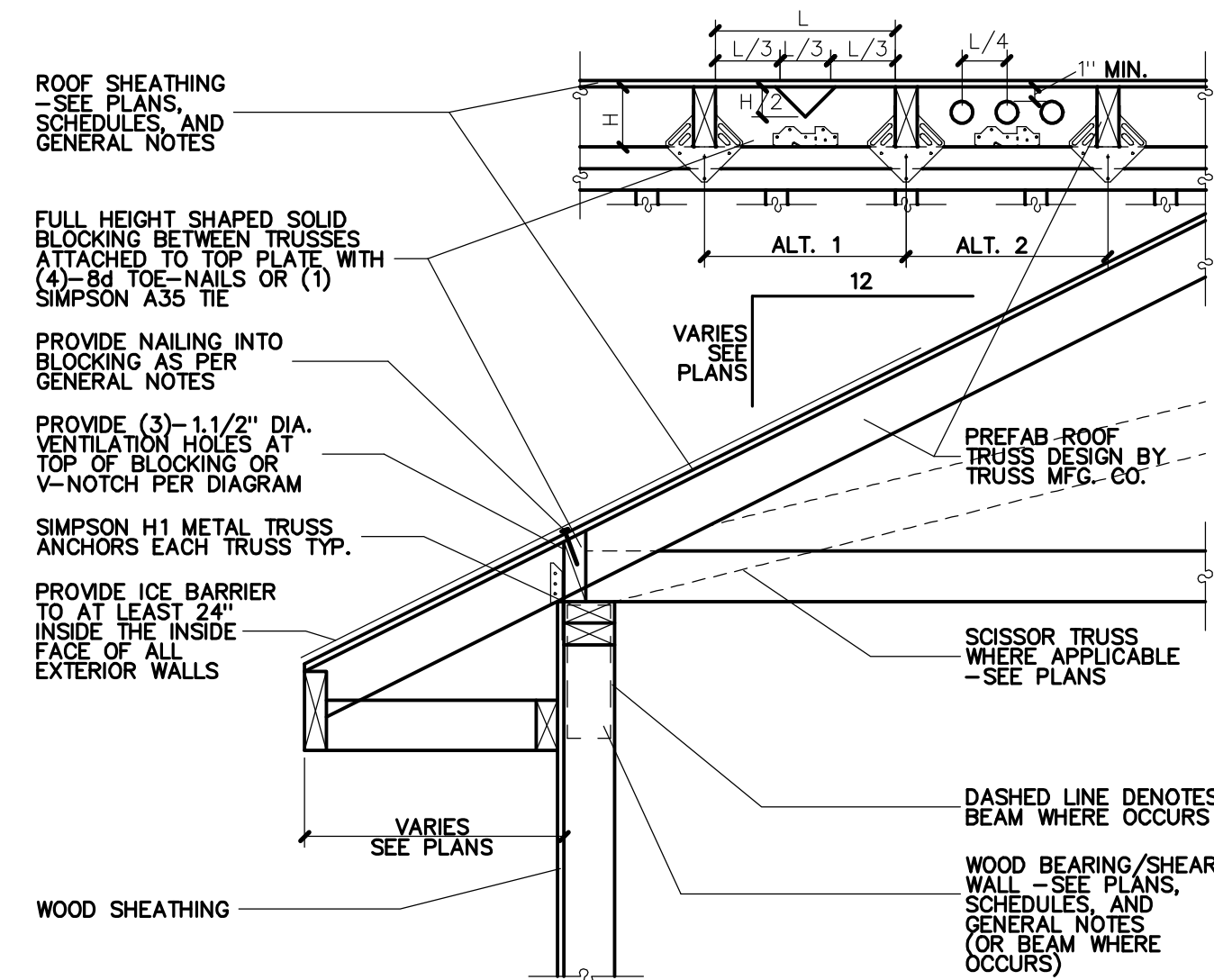
3
S3.1
EPOXY REBAR DOWEL SCHEDULE
NO SCALE



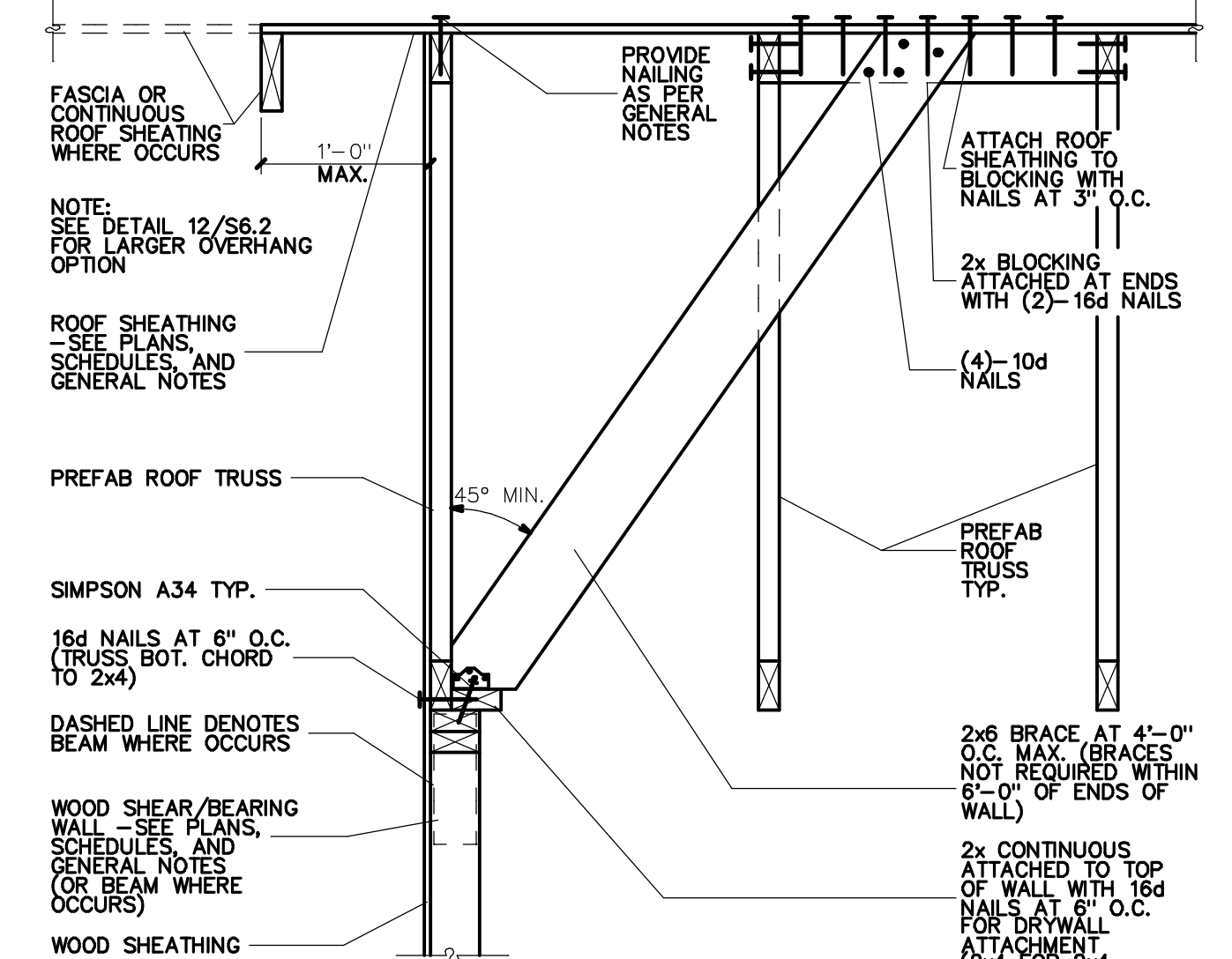
4
S3.1
HOLDOWN INSTALLATION
NO SCALE



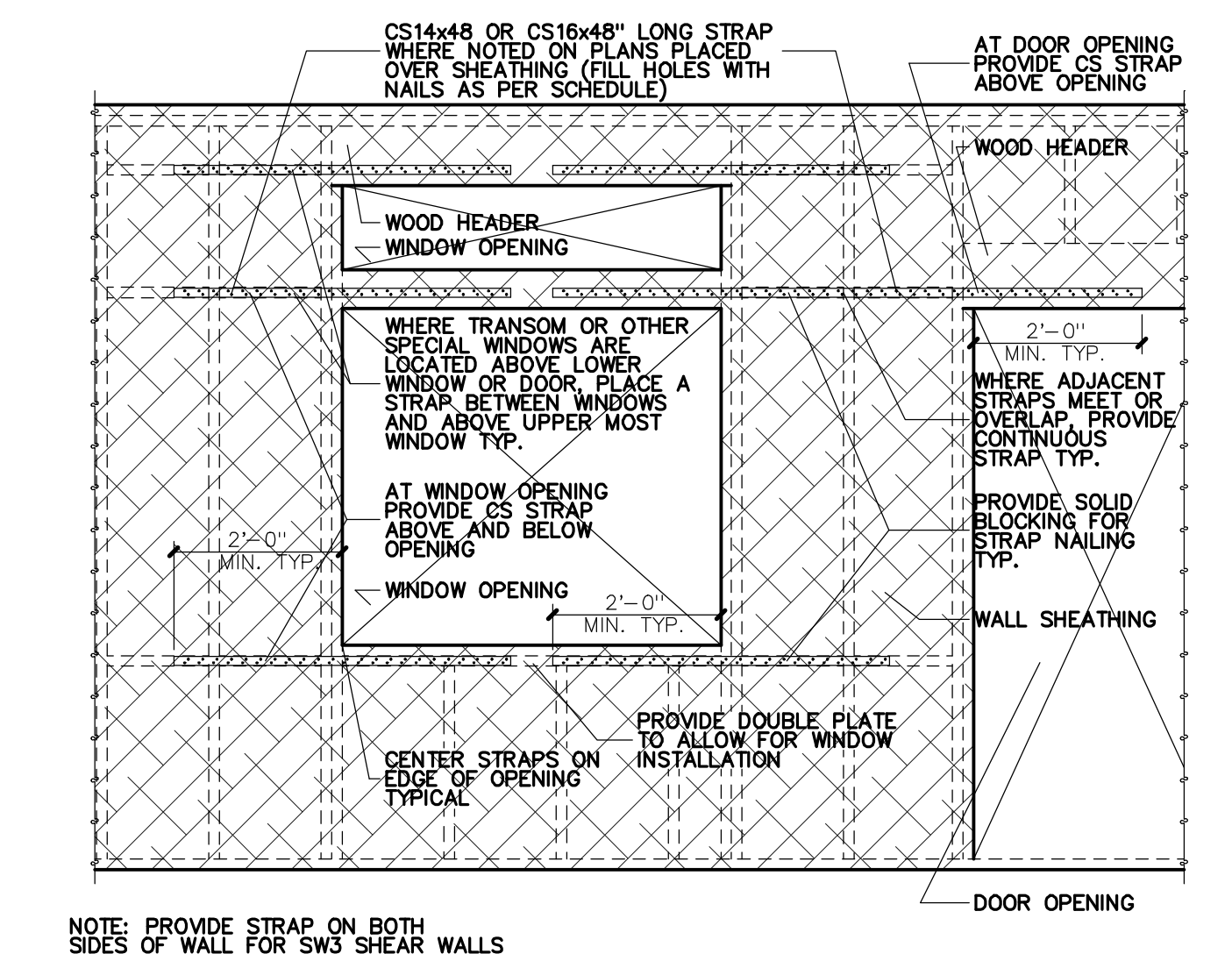
5
S3.1
SHEAR WALL EACH SIDE OF GARAGE DOOR
NO SCALE



6
S3.1
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



7
S3.1
GABLE END WALL
NO SCALE



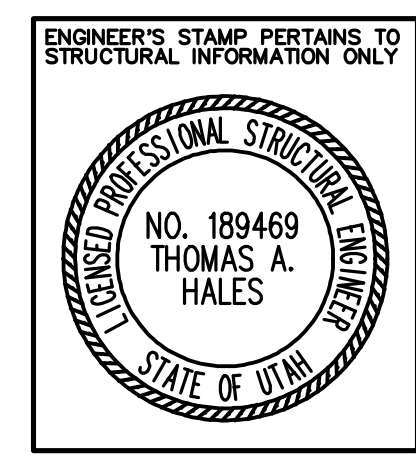
8
S3.1
CS16x48 STRAP ATTACHMENT
NO SCALE

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LOT 1, SYCAMORE COVE SUBDIVISION
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DETAILS
DRAWN: CWH
DATE: 11/21/2023
JOB NO.: 23100
TYPE: CHG TO 048423103, #23098
PLAN NO.: 484-S4-FT. DETACHED GARAGE



CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE SHEETS S1.1 THRU S3.2 FOR REFERENCES TO DETAILS

2321 Quincy Ave Cost Breakdown

LINE	DIV.		COST
1	1	Building Permits	5,000.00
2	1	Bond	
3	1	Builders Risk Insurance	
4	2	Engineering (Property Survey)	
5	2	Demolition	
6	2	SWPPP	
7	2	Temporary Utilities	
8	2	Grading & Excavation	
9	2	Utility Connections	
10	2	Gravel, Sand & Road Base	
11	2	Other Site Work (specify)	
12	2	Footings Concrete	
13	2	Foundations Concrete	
14	2	Steel	
15	2	Termite Treatment	
16	3	Flatwork Concrete - Interior	
17	3	Flatwork Concrete - Exterior	
18	4	Framing Materials	
19	4	Framing Labor	
20	5	Windows & Glazing	
21	6	Exterior Doors & Hardware	
22	6	Interior Doors & Hardware	
23	6	Garage Door (w/ opener)	
24	7	Roofing Materials	
25	7	Roofing Labor	
26	8	Rain Gutters & Flashing	
27	8	Siding	
28	9	Stucco / Masonary	
29	9	Electrical	
30	10	Electrical / Light Fixtures	1,500.00
31	10	Plumbing	
32	11	Plumbing Fixtures	
33	12	HVAC	
34	13	Insulation	
35	14	Drywall	
36	15	Painting	
37	15	Vinyl Flooring	
38	15	Carpet	
39	16	Ceramic Tile / Cultured Marble	
40	17	Counter Tops	
41	18	Cabinets & Vanities	
42	19	Mirrors & Glasswork	
43	20	Appliances	1,500.00
44	21	Finish Material	
45	21	Finish Labor	
46	22	Final Grading	
47	23	Fencing & Landscaping	
48	24	Plaster Foundation	
49	25	Site Clean Up	
50	25	Interior Final Cleaning	
51	26	Miscellaneous	
		Subtotal	
		Builder's Overhead & Profit	
		Total	

Allowances & Specifications

Effective Date: February 2024

Project Address: 2343 Quincy Ave. Ogden, UT

These specifications are exclusively for the above-referenced proposed residences and in conjunction with the plans are contractual construction documents. All items specified or not specified herein shall meet or exceed the International Residential Code (IRC). OGDEN CITY shall reserve the right to change these specifications due to product availability. Contractor is responsible for pulling and paying for all permits related to construction of home including: Building Permits, SWPPP permits, Utility Permits, etc.

General Description of Improvements for each residence:

Average Square footage of living area: 2264

Square footage of garage: 484

Note: All square footage measurements are approximate and to be verified by Contractor

Permits & Fees

Please use the allowance of \$5,000 for permits and fees. This estimated amount will include impact fees, SWPPP, Building permit fees for the house. Contractor will only be reimbursed for actual permit fees. Contractor will not be able to draw remaining balance for other purposes.

If fees are greater than \$5,000, OGDEN CITY will accept change order compensating Contractor for actual permit fees.

Site Work

Utilities

Water	Ogden City
Sewer	Central Weber
Electric	Rocky Mountain
Gas	Dominion

New sewer and water lateral stubs have already been installed with Sycamore Cove Development approximately to the east property line of the lot. See site plan for approximate location. Contractor responsible for tying into existing utility laterals. Contractor is responsible for repairing and replacing any cuts or damage made in city streets curbs, sidewalk etc. that are damaged due to the utility connection or damaged by contractor or subcontractor during the construction period. Contractor responsible for installation of new city sidewalk per site plan. Contractor is also responsible for coordinating and installation of gas and electric utility connections.

Contractor will install new sidewalk, drive approach and driveway and other flatwork (per site plan and landscaping exhibits).

Contractor is responsible for repairing and replacing any cuts made in city streets curbs, sidewalk etc. that are damaged during home construction.

Setback and Grading

- Setbacks per site plan.
- Grade as required for proper drainage (per site plan).
- Landscape –(see landscaping plan)
Yards to be completely landscaped, including front and side park strips.
- Fully automated sprinkler systems, including drip system.
- Cement curbing included in front yard flowerbeds and under wrought iron fencing (see landscaping plan)

Basement

- ADU ready unfinished basement – Install all footings, foundations, window bucks, door bucks, and bearing walls per plan. Provide plumbing stubs for future kitchen and bathroom. Provide basic electrical required by code with keyless lighting and adequate distribution panel for future basement expansion. All other interior basement improvements to be done by others.

Fencing

- Install new 3' wrought iron (or comparable) fence per site plan. Includes two wrought Iron - 3'H x 3'W pedestrian gate per site plan.

Framing

Exterior and Interior Walls

- Constructed per plan
- Lap siding to be 8" LP Smart Side over 15# felt or comparable material.
- Exterior trim work to be "LP -Smart Siding" or comparable.
- Siding and trim paint colors to be selected and approved by OGDEN CITY CED prior to construction.

Rafter and Floor Joists

- Constructed per plan.

Porches

- Front Porch: Concrete cap per plan with concrete sealer – Cap to extend 3 inches past foundation. No Wrought Iron Railing on front porch.



Thick Railing – 1.5”- 2.5” Rails

- Back Porch: Treated-Wood framed platform and stair stringers completely covered in Trex decking materials or comparable product. Metal railing if required by code.

Cornice

- Constructed per plan

Windows

- Vinyl-framed, double pane with Low-E glass, sized per plan.
- Frame Color – Almond –(to be verified by Ogden city prior to ordering windows)
- ½ screens throughout (except for fixed glass windows).
- Garage will not have any windows.

Blinds

- Located in all windows (except bathroom windows).

Type:	Levelor (or Comparable)
Style:	2” Faux Wood (PVC)
Color:	White

Exterior Doors

- Front entrance door -- 3’0”x 6’8” Fiberglass – Therma Tru entry door- model #CCA260-SDL with 4 dentil block shelf. Verify with Ogden City at time of ordering.
- Back entry door per plan -- 3’0”x 6’8” Fiberglass-two panel per spec sheet with half-light and blinds inside of glass.
- Garage man door -- 3’0”x 6’8” Steel two panel per spec sheet.
- Garage Door – 16’0”x 8’0” aluminum door per plan with auto opener.
- All exterior doors to come pre-hung with factory weather strip and threshold.

Insulation

- Exterior walls – R-19
- R-49 blown in flat ceilings areas where accessible.
- Polycel foam all windows, corners, plumbing or electrical penetrations. (per 2006 IRC)

Roofing

- Shingles --- Architectural/Dimensional shingle.
- Warranty --- 30 year Manufacturers Warranty.
- Color --- Weathered Wood

Soffit & Fascia

- Aluminum type materials. Use ventilated soffit at all eaves per code. Almond color- verify with Ogden City at time of ordering.
- Install aluminum gutters and downspouts on all drainage eaves.

Energy Requirements

Builder to follow prescriptive requirements from 2006 IEC, described in table below (5 and 4 Marine):

**Table 402.1.1
Insulation and Fenestration Requirements by Component^a**



CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION ^{b,e} SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	1.20	0.75	0.30	30	13	3 / 4	13	0	0	0
2	0.65 ^j	0.75	0.30	30	13	4 / 6	13	0	0	0
3	0.50 ^j	0.65	0.30	30	13	5 / 8	19	5 / 13 ^f	0	5 / 13
4 except Marine	0.35	0.60	NR	38	13	5 / 10	19	10 / 13	10, 2ft	10 / 13
5 and Marine 4	0.35	0.60	NR	38	20 or 13+5 ^h	13 / 17	30 ^g	10 / 13	10, 2 ft	10 / 13
6	0.35	0.60	NR	49	19 or 13+5 ^h	15 / 19	30 ^g	15 / 19	10, 4 ft	10 / 13
7 and 8	0.35	0.60	NR	49	21	19 / 21	38 ^g	15 / 19	10, 4 ft	10 / 13

^a R-values are minimums, U-factors and SHGC are maximums, R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
^b The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
^c "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
^d R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
^e There are no SHGC requirements in the Marine Zone.
^f Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
^g Or insulation sufficient to fill the framing cavity, R-19 minimum.
^h "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
ⁱ The second R-value applies when more than half the insulation is on the interior of the mass wall.
^j For impact rated fenestration complying with Section R301.2.1.2 of the IRC or Section 1608.1.2 of the IBC, maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

Millwork

Cabinets - Please provide a bid for white poplar cabinets with a Shaker style door (see photo). Cabinets will have the following specs:



Kitchen	36" Base	36" uppers w/ crown molding.
Master Bath	36" Base	30" uppers (if req'd per plan)
Secondary Bath	48" Base	30" uppers (if req'd per plan)
Utility / Linen	per plan only	
All Cabinets	Pre-finished w/ picture frame doors	White
Hardware	Knobs, pulls, and hinges	Matt Black – Style selected by Ogden City prior to install

Interior Doors and Trim

Interior Doors	6'8" Hollow core 5 panel. (Riverside) Sized per plan.
Door Casing	3 ¼" MDF Square edge 5 ¼" Header
Window Trim	3 ¼" MDF casing with window sill in Living, Dining, and Kitchen All other windows are MDF sill only, no casing.
Base Trim	4 1/4" MDF Square edge
Stair Wall	Per Plan
Shelving	Particle Board
Closet Rods	Alloy
Wainscott	Dining Room



Door Style



Casing Style



Wainscot Style

HVAC

Equipment

- Energy Star rated equipment (HVAC)
- 90% efficient furnace or better, located in crawlspace.
- AC
- Digital Thermostat
- Sizing, location, installation of unit, furnace, and registers as per load calculation and engineered HVAC design criteria – Must be able to provide required Manual J & D to pull building permit.
All Manual J & D design fees required for permit must be included in bid.

Plumbing

Piping

- Waste and vent piping to be schedule 40 PVC.
- Includes (2) standard freeze-less hose bibs.
- Sewer line to be schedule 30 J.M. sewer pipe.

- Water Heater to be gas (1) 40 gallon.
- Washer connections to be in catch-a-drip box.
- Interior piping to be Rehau Everloc system, or equal.
- Washer Fiberglass Pan w/ Trap & Drain.
- Water line for refrigerator ice maker.

Fixtures- Color - Matt Black

Kitchen Sink	8" deep stainless steel, double basin.
Kitchen Faucet	Moen – Indi Single Handle Pull Down Sprayer Kitchen Faucet – Matt Black Mo. 87090BL
Disposal	Insinkerator Badger I disposal 1/3 HP (or comparable)
Bathroom Lavatory Faucets	Moen Gibson 8 In Widespread Double Handle High Arc Faucet - Matt Black, Mo. T6142BL
Master Bath Shower	Moen Gibson – Matt Black – Mo. T2902EPBL
Toilets	American Standard – white – Elongated. (or comparable)
Secondary Bath Tubs	White porcelain on steel tub, or Acrylic
Secondary Bath Tub/Shower	Moen Gibson Tub / Shower Faucet combo Matt Black Mo. T2903EPBL
Bathroom Sinks	Oval, - White

Appliances

Range	30" Free standing gas Range – Stainless – LRG3061ST LG Gas Range w/5 Burners & Griddle
Microwave	Built in Over range – Stainless – LG LMV1683ST
Dishwasher	Built in – Stainless – LDF5545ST LG Built In Dishwasher w/ stainless tub

Electrical

Wiring

- House and Garage: Wire per plan and National Electrical Code, copper "Romex" type and aluminum feeders.

Fixtures -

- Switch Type --- Toggle
- Switch/ Outlet Color --- White
- Ceiling Fans --- Master bedroom- (1) w/ and light kit
- Light Fixtures (\$1,500 Allowance) --- fixtures selected by Ogden City prior to installation.
- GFI outlets --- Installed per plan or per National Electrical Code.
- Garage Door Opener --- One Opener with (2) remotes

- Additional ceiling Fans --- Includes pre-wire and blocking for future fans in secondary bedrooms and living room.

Telephone and TV cabling

Telephone	(2) Cat-5 (includes pre-wire and trim) Master bedroom and kitchen
T.V.	(4) RG-6 (includes pre-wire and trim) Family room and bedrooms

Flooring, Countertops, & Shower Walls

Countertops & Backsplash

Kitchen Tops	Quartz – Chipped Ice
Vanity Tops	Quartz – Chipped Ice
Utility Tops	Quartz – Chipped Ice
Kitchen Backsplash	3X6 White Subway Tile w/ Grey Grout

Shower / Tub Walls

- White Cultured marble to be used at master and secondary tub/shower walls.

Flooring

- Oceanside Laminate Wood Flooring – see interior color selection and flooring exhibits for color and location.
- Shaw Carpet – Well Timed – see interior color selection and flooring exhibits for color and location.
- Carpet Pad 3/8” rebound pad. Installed in all carpeted locations including stairs.
- Tile – Soho 12” x 24” -- see interior color selection and flooring exhibits for color and location.

Painting & Drywall

Exterior

- All trim to be caulked as necessary and painted to final finish.
- Two tone paint. See interior color selection exhibit for color.

Interior

- All walls to be ½” gypsum board-taped, floated and final floated – Smooth Finish. Green board or equal to be used in all tub/shower surrounds. All ceilings to be 1/2” sheetrock, 5/8” where required by code. Ceilings to be light textured. Eggshell latex wall paint in all finished sheetrock areas. Color to be selected and approved by OGDEN CITY prior to painting.
- Trim will be caulked & sanded. 2 coats interior enamel paint. Two tone paint scheme throughout. Colors to be selected and approved by OGDEN CITY prior to painting.

Mirrors and Shower Doors

Mirrors

- Bathroom mirrors to be ¼" plate glass, sized per plan.

Shower Doors

- Master bath shower doors to be clear tempered glass, frame color to be Satin.

Hardware

Hardware

Type:	Schlange
Style:	Georgian
Color:	Matt Black
Hinges:	26 D – Matt Black
Front Door Handleset:	Schlange Northbrook – Matt Black
Bathroom accessories:	One towel bar, towel ring, and paper holder per bath to match plumbing finish. Craftsman Style – Kingston Brass Monarch Line – Matt Black


Concrete

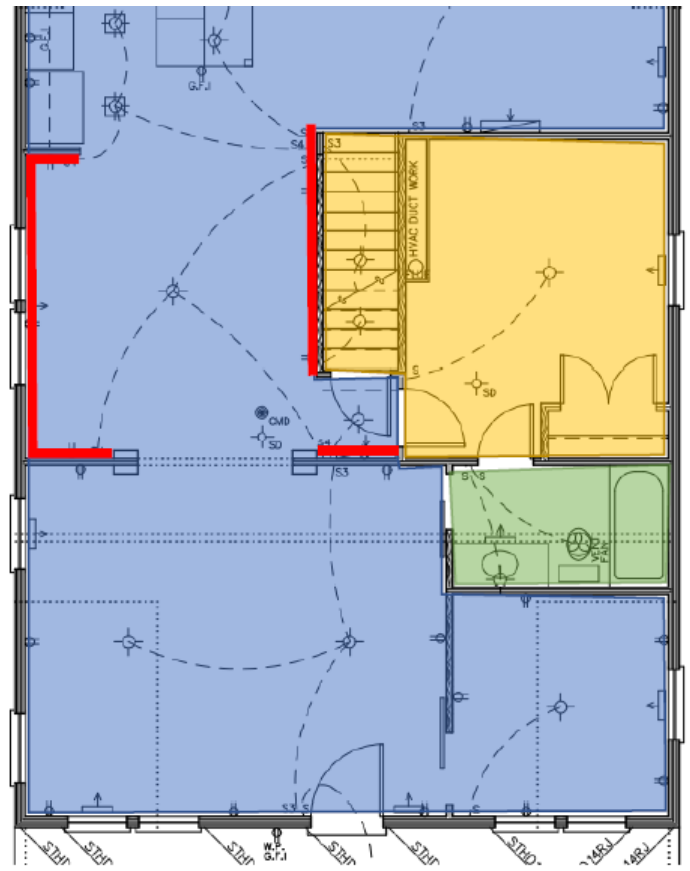
- Provide all concrete per code to install driveway, pads, caps, stairs and sidewalks per site plan.

Garage

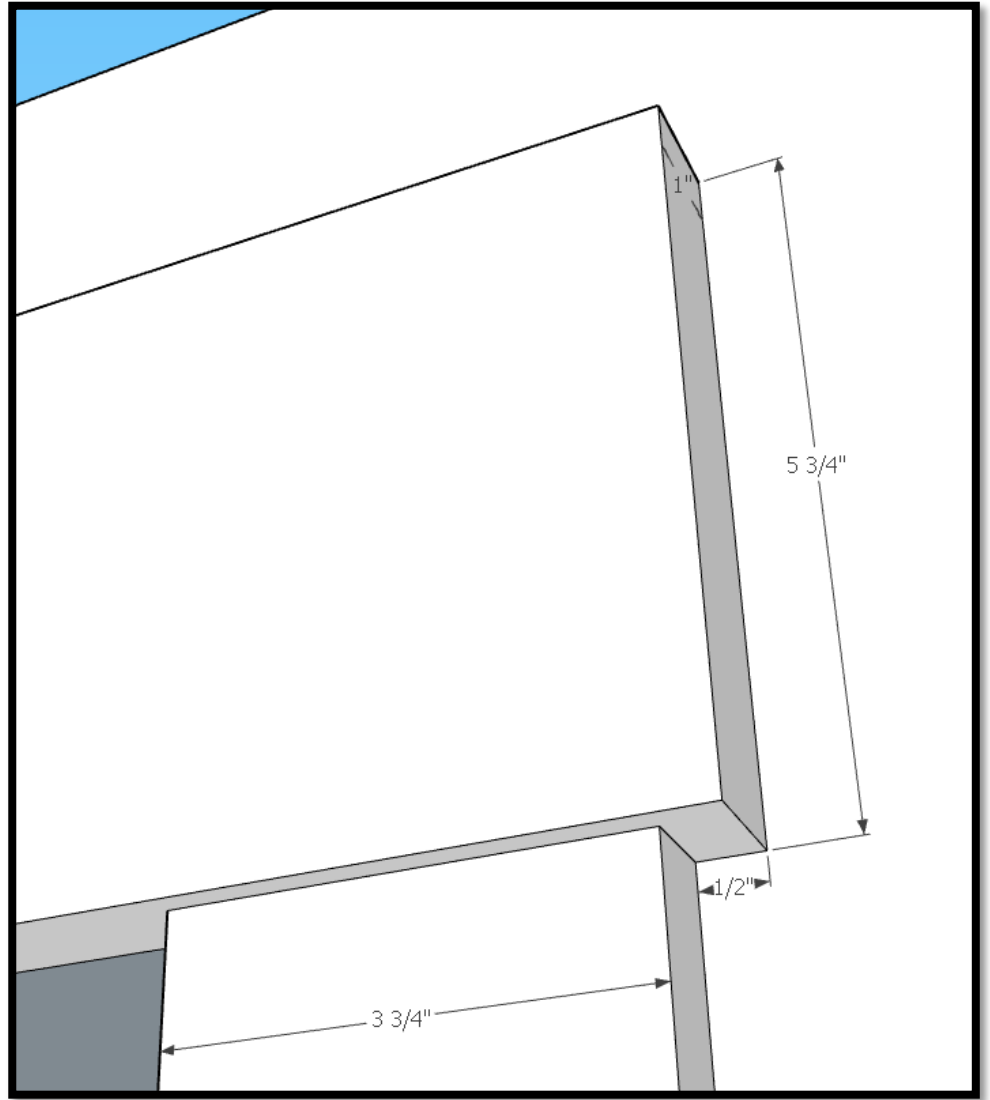
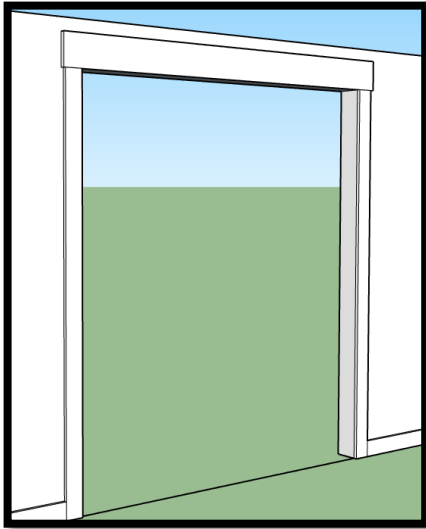
- To be built per plan, with in kind materials as home.
- Gable end roof style with architectural shingles. Color to be Weatherwood to match home.
- Exterior colors to match home and approved by Ogden City.
- Electrical to include GFI circuits, lighting, and overhead garage door, per plan.
- Fire Rated Walls – Build per plan
- No Drywall or insulation done on garage interior.

2343 Quincy Wainscot Detail


Wainscot



2363 Jefferson – Trim Detail



2343 Quincy Interior Color Selects February 2024



Paint – Sherwin-Williams SW 7029
Base eggshell walls.



Paint -Trim – Satin Finish trim,



Chipped Ice Quartz – Countertops



Carpet-Shaw - Well Timed
-Canoe



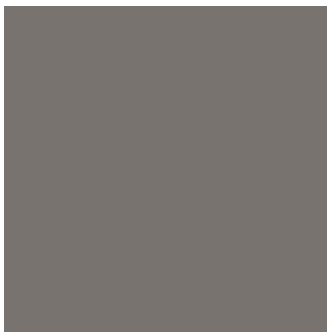
Tile – Soho – Madison 12x24



Oceanside Flooring
COLOR: San Becinto Range
Model VSPC7SB
W 7" X 5'. Thickness 5.5mm
TYPE: SPC

2343 Quincy Exterior Color Selects

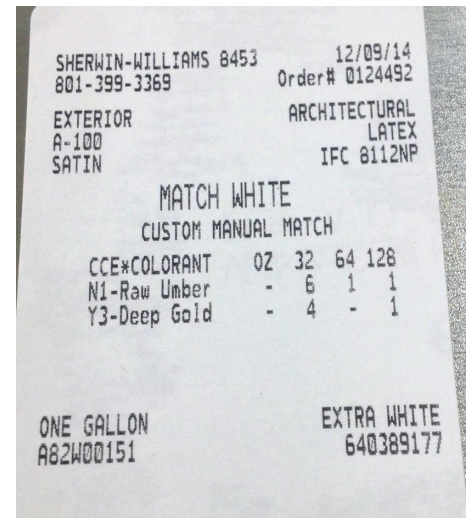
February 2024



Sherwin Williams– Gauntlet
Gray 1701 – Exterior Lap Siding

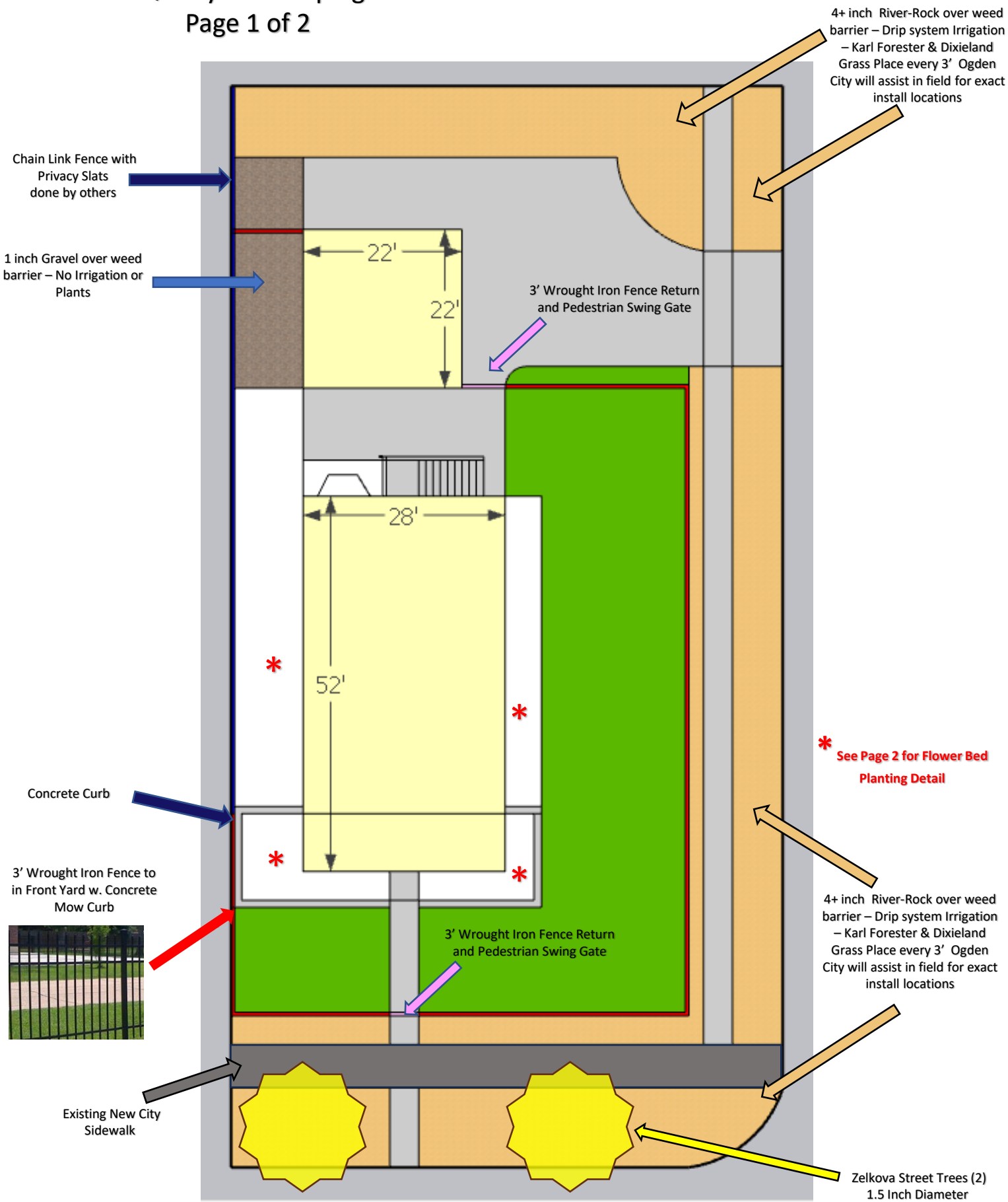


Exterior Trim – Color Match – Ogden White



2343 Quincy Landscaping Plan

Page 1 of 2



2343 Quincy Landscaping Plan

Page 2 of 2


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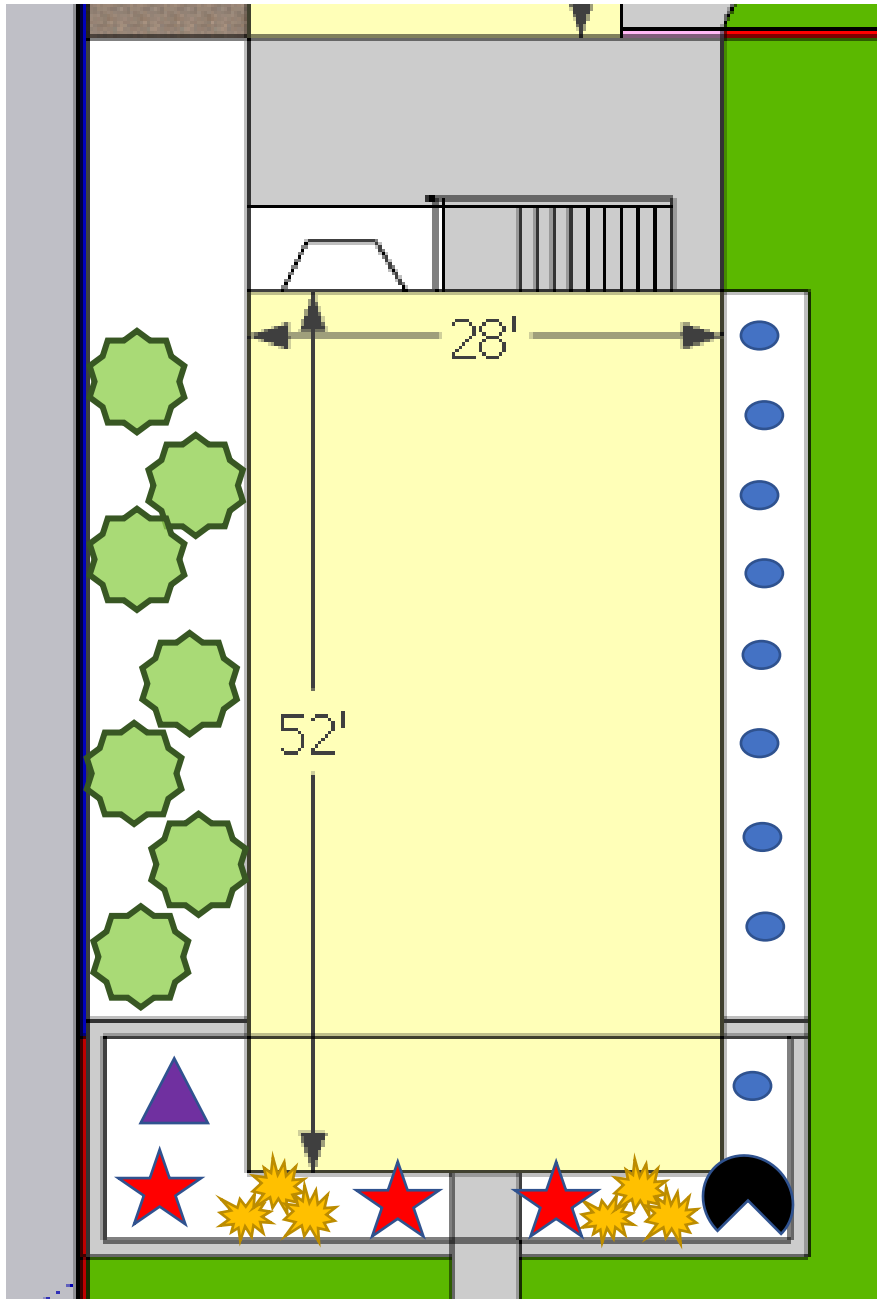

Gold Flame Spirea


3-Day Lilly's


Weeping Cherry


Columnar Spruce


Karl Forestor Grass



~ Weed Barrier and 4" minimum Dark Mulch in all Flower bed surrounding House (Shown in White)
Drip Irrigation on all flowerbeds on side of House. Spray Irrigation can be used on all turf and front yard flower beds. Turf to be laid as sod – Waterwise blend suitable for active residential use

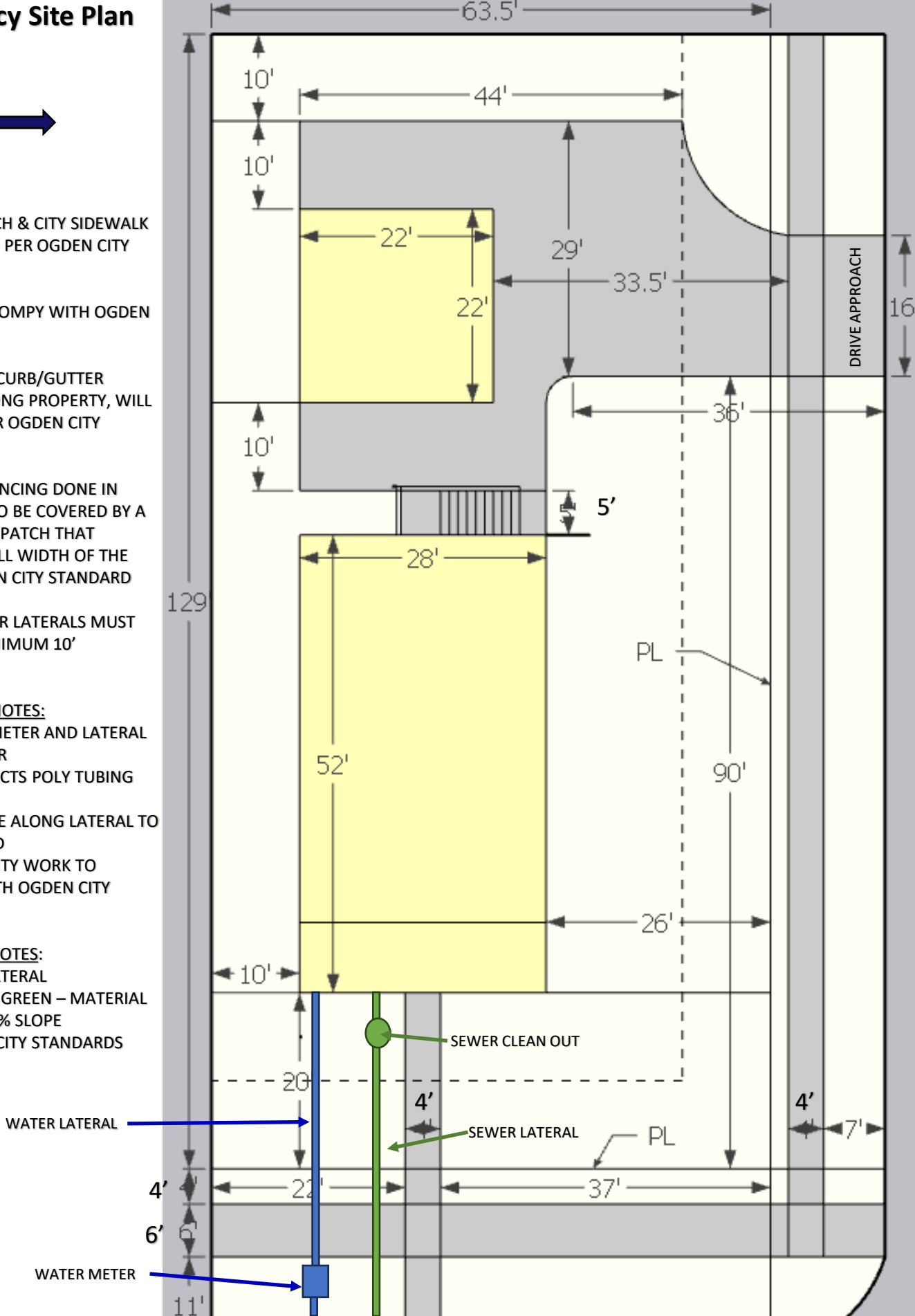
2343 Quincy Site Plan



- ~DRIVE APPROACH & CITY SIDEWALK TO BE INSTALLED PER OGDEN CITY STANDARD
- ~ALL WORK TO COMPLY WITH OGDEN CITY STANDARDS
- ~ALL DEFECTIVE CURB/GUTTER & SIDEWALK, ALONG PROPERTY, WILL BE REPLACED PER OGDEN CITY STANDARD
- ~ALL UTILITY TRENCHING DONE IN PUBLIC STREET TO BE COVERED BY A SINGLE ASPHALT PATCH THAT EXTENDS THE FULL WIDTH OF THE ROAD PER OGDEN CITY STANDARD
- ~SEWER & WATER LATERALS MUST MAINTAIN A MINIMUM 10' SEPERATION

- WATER UTILITY NOTES:**
1. 3/4" WATER METER AND LATERAL FROM METER
 2. AWWAC 901CTS POLY TUBING MATERIAL
 3. TRACER WIRE ALONG LATERAL TO BE INCLUDED
 4. WATER UTILITY WORK TO COMPLY WITH OGDEN CITY STANDARDS

- SEWER UTILITY NOTES:**
1. 4" SEWER LATERAL
 2. PVC SDR-35, GREEN – MATERIAL
 3. MINIMUM 2% SLOPE
 4. SEE OGDEN CITY STANDARDS DETAIL



WATER LATERAL

SEWER CLEAN OUT

SEWER LATERAL

WATER METER

PL

PL

DRIVE APPROACH



UPPER FLOOR AREA = 1032 SQ. FT. MAIN FLOOR AREA = 1232 SQ. FT.

METAL HOLDOWN SCHEDULE ¹				
MARK	SIMPSON HOLDOWN	ATTACHMENT	COMMENTS	
LSTD8 OR LSTD8RJ	LSTD8 OR LSTD8RJ (RIM JOIST)	(20)-16d SINKER NAILS	SSTD10, SSTD14, HTT4, OR HDU4 MAY BE USED IN LIEU OF LSTD8	
SSTD10 OR SSTD10RJ	SSTD10 OR SSTD10RJ (RIM JOIST)	(28)-16d SINKER NAILS	SSTD14, HTT4, OR HDU4 MAY BE USED IN LIEU OF SSTD10	
SSTD14 OR SSTD14RJ	SSTD14 OR SSTD14RJ (RIM JOIST)	(30)-16d SINKER NAILS	HTT4 OR HDU4 MAY BE USED IN LIEU OF SSTD14	
HTT4	HTT4	(18)-16d NAILS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT	
HDU4	HDU4-SDS2.5	(10)-SDS1/4x1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT	
HDU5	HDU5-SDS2.5	(14)-SDS1/4x1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT	
HDQ8	HDQ8-SDS3	(20)-SDS1/4x3 SCREWS WITH 7/8" DIA. A307 ALL-THREAD ROD EXPOSED 1" MIN. INTO TOP OF FDN.	SEE DETAIL 5/54.2 FOR EPOXY ATTACHMENT	

METAL HOLDOWN NOTES:
 1. ALL HOLDOWNS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 5 AND 9/S4.2.
 2. USE RIM JOIST MODEL OF STRAP IF STRAP IS LOCATED AT A RIM JOIST, OTHERWISE, A NON-RIM JOIST MODEL MAY BE USED.

CONCRETE FOUNDATION WALL SCHEDULE					
MARK	WIDTH ⁵	MAX. HEIGHT ^{2,4,5}	WALL REINFORCING		COMMENTS
			VERTICAL ^{1,3}	HORIZONTAL ^{1,3}	
CFW3.0NR	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 18" O.C.	#4 AT 12" O.C.	SEE DETAIL 7 OR 11/S4.1
CFW3.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 24" O.C.	#4 AT 12" O.C.	SEE DETAIL 7 OR 11/S4.1
CFW4.0	8" MIN.	4'-0"	#4 AT 24" O.C.	#4 AT 15" O.C.	SEE DETAIL 6/S4.1
CFW6.0	8" MIN.	6'-0"	#4 AT 24" O.C.	#4 AT 18" O.C.	SEE DETAIL 5/S4.1
CFW8.0	8" MIN.	8'-0"	#4 AT 24" O.C.	#4 AT 19" O.C.	SEE DETAIL 5/S4.1
CFW9.0	8" MIN.	9'-0"	#4 AT 16" O.C.	#4 AT 18" O.C.	SEE DETAIL 5/S4.1
CFW10.0	8" MIN.	10'-0"	#4 AT 9" O.C.	#4 AT 12" O.C.	SEE DETAIL 5/S4.1

CONCRETE FOUNDATION WALL NOTES:
 1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
 2. WALL HEIGHT AS NOTED. NOTES NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS UNBALANCED WALL HEIGHT (HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED THAT SHOWN. ADD ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED SPACING SHOWN.
 3. UNLESS NOTED OTHERWISE, PLACE HORIZONTAL REINFORCING IN THE CENTER OF THE WALL THICKNESS.
 4. PLACE VERTICAL REINFORCING ON INTERIOR SIDE OF HORIZONTAL REINFORCING.
 5. PROVIDE VERTICAL REBAR AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR OPENINGS AND WHERE CONCRETE SLABS POUR OVER THE TOP OF FOUNDATION WALLS.
 6. SEE DRAWINGS FOR ACTUAL HEIGHT.
 7. PROVIDE VERTICAL REBAR AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR OPENINGS AND WHERE CONCRETE SLABS POUR OVER THE TOP OF FOUNDATION WALLS.
 8. SOIL BACKFILL SHALL BE SOIL CLASSIFICATION TYPES GW, GP, SW, OR SP PER IBC TABLE 1610.1. SOIL SHALL NOT BE SUBMERGED OR SATURATED IN GROUND WATER.
 9. SEE PLAN FOR ACTUAL WALL WIDTH.

WOOD BEAM/HEADER SCHEDULE ^{1,6}					
MARK ¹	SIZE ^{2,3}	COMMENT	MARK ¹	SIZE ^{2,3}	COMMENTS
WB2/3-8DF ⁴	(2)-2x8 FOR 2x4 WALLS (3)-2x8 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 9'-0" THAT ARE NOT NOTED OTHERWISE IN BASEMENTS. CEILING HEIGHTS LESS THAN 7'-10" CEILING HEIGHTS GREATER THAN 7'-10" HEADERS MAY BE RECESSED INTO WALL OSB BETWEEN INDIVIDUAL BEAM-PLYS TO MATCH THE WALL THICKNESS. PROVIDE WINDOW HEIGHTS - SEE DETAIL 10/S6.1	WB2-5.5LV	(2)-1.3/4"x5.1/2" LVL	
WB2/3-10DF ⁴	(2)-2x10 FOR 2x4 WALLS (3)-2x10 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE - SEE NOTE 4 BELOW	WB2-14LV	(2)-1.3/4"x14" LVL	
WB2-6DF	(2)-2x6 DF#2	WB2-5.5LV MAY BE USED AS ALTERNATE	WB2-18LV	(2)-1.3/4"x18" LVL	
WB2-8DF	(2)-2x8 DF#2	WB2-7.25LV MAY BE USED AS ALTERNATE	WB3-5.5LV	(3)-1.3/4"x5.1/2" LVL	
WB2-10DF	(2)-2x10 DF#2	WB2-7.25LV MAY BE USED AS ALTERNATE	WB3-7.25LV	(3)-1.3/4"x7.1/4" LVL	
WB2-12DF	(2)-2x12 DF#2	WB2-9.5LV MAY BE USED AS ALTERNATE	WB3-9.5LV	(3)-1.3/4"x9.1/2" LVL	
WB3-6DF	(3)-2x6 DF#2	WB3-5.5LV MAY BE USED AS ALTERNATE	WB3-11.88LV	(3)-1.3/4"x11.7/8" LVL	
WB3-8DF	(3)-2x8 DF#2	WB3-7.25LV MAY BE USED AS ALTERNATE	WB3-14LV	(3)-1.3/4"x14" LVL	
WB3-10DF	(3)-2x10 DF#2	WB3-7.25LV MAY BE USED AS ALTERNATE	WB3-16LV	(3)-1.3/4"x16" LVL	
WB3-12DF	(3)-2x12 DF#2	WB3-9.5LV MAY BE USED AS ALTERNATE	WB3-18LV	(3)-1.3/4"x18" LVL	

WOOD BEAM NOTES:
 1. BEAM MARKS WITH "DF" DESIGNATES THE USE OF DOUGLAS FIR-LARCH NO. 2 OR BETTER STANDARD LUMBER. BEAM MARKS WITH "LV" DESIGNATES THE USE OF ENGINEERED LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 2800 psi, F_v = 285 psi, E = 1.9x10⁶ psi.
 2. "DF" BEAM SIZES SHOWN ARE NOMINAL AND HAVE SMALLER ACTUAL BEAM DIMENSIONS AS BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO MATCH THE WALL THICKNESS.
 3. MULTIPLE MEMBER BEAMS/HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 IN. OR LESS USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
 4. CONTACT THE ENGINEER FOR BEAM/HEADER SIZES WITH SPANS GREATER THAN 5'-2" THAT ARE NOT NOTED ON THE DRAWINGS.
 5. "FLUSH", WHEN NOTED ON PLANS, INDICATES TO PLACE THE BEAM SO THAT THE TOP AND/OR BOTTOM OF THE BEAM IS FLUSH WITH THE SUPPORTED FRAMING.
 6. DO NOT USE LVL BEAMS WHERE THEY MAY BE EXPOSED TO WEATHER (E.G. DECK FRAMING).

SHEAR WALL SCHEDULE							
WALL MARK	PANEL ^{5,6} MATERIAL	SIDES	PANEL ATTACHMENT		WALL ANCHORAGE		COMMENTS
			PANEL FASTENER ^{3,9}	EDGE NAILING	FIELD NAILING	ANCHOR BOLT/ ^{1,7} FASTENER	
SW1	1/2" GYPSUM WALLBOARD ⁴	BOTH SIDES	BLOCKED NO. 6x1.1/4" SCREWS	4" O.C.	16d NAILS	4" O.C.	USE SW4 AS ALTERNATE
SW2	7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	4" O.C.	12" O.C.	SEE NOTE 8 BELOW
SW3	7/16" OSB SHEATHING ¹¹	BOTH SIDES	BLOCKED	8d NAILS	4" O.C.	12" O.C.	SEE NOTE 8 & 11 BELOW
SW4	3/8" OR 7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	6" O.C.	12" O.C.	RESIDENTIAL
SW5	7/16" OSB SHEATHING	BOTH SIDES	BLOCKED	SEE DETAIL 5/S5.2			SEE NOTE 8 BELOW

SHEAR WALL NOTES:
 1. ANCHOR BOLTS SHALL HAVE 7" MIN. EMBEDMENT (ALL-THREAD EPOXY BOLTS W/ 7" MIN. EMBEDMENT MAY BE USED IN LIEU OF A.B. - SEE 3/S4.2).
 2. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES FOR WALLS INDICATED TO BE BLOCKED.
 3. SCREWS FOR WALLBOARD SHALL BE TYPE "W" OR "S" DRYWALL SCREWS (54 COOLER OR WALLB'D NAILS MAY BE USED IN LIEU OF SCREWS).
 4. USE 1/2" FIRE RATED WALL BOARD WHEN REQUIRED FOR FIRE SEPARATION.
 5. 3/8" OR 7/16" OSB SHEATHING ON ONE SIDE OF WALL MAY BE USED IN LIEU OF GYPSUM WALLBOARD ON ALL SHEAR/BRACED WALLS USING GYPSUM WALLBOARD NOTES ABOVE.
 6. OSB SHEATHING SHALL BE APA RATED (INT. GRADE WITH EXT. GLUE) WITH A MINIMUM 24" SPAN RATING.
 7. USE 16d NAILS AT 4" O.C. WALL ANCHORAGE WHEN WALL RESTS ON WOOD FLOOR FRAMING AND NOT DIRECTLY ON FOUNDATION WALL OR FOOTING.
 8. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED TO THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET 5/54.1 THRU 5/54.3, U.N.O.
 9. 16 GAGE SHEATHING ON SIDE OF WALL WHERE MARKED IS LABEL IS PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR NAILS.
 10. PROVIDE SHEATHING WITH 7/16" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR NAILS.
 11. WHEN PANELS ARE APPLIED ON BOTH FACES OF A WALL PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3" NOMINAL OR THICKER AT ADJOINING PANEL EDGES AND NAILS ON EACH SIDE SHALL BE STAGGERED.

CONCRETE FOOTING SCHEDULE ^{1,2,3}											
MARK	WIDTH	LENGTH	THICK.	CROSSWISE REINFORCING		LENGTHWISE REINFORCING					
				NO.	SIZE	LENGTH	SPACE	NO.	SIZE	LENGTH	SPACE
CONTINUOUS FOOTINGS											
FC1.5	1'-6"	CONT.	10"	N/A	N/A	N/A	N/A	2	#4	CONT.	12"
FC1.7	1'-8"	CONT.	10"	N/A	N/A	N/A	N/A	2	#4	CONT.	14"
FC2.0	2'-0"	CONT.	12"	N/A	N/A	N/A	N/A	3	#4	CONT.	9"
FC2.5	2'-6"	CONT.	12"	#4	2'-0"	18"	4	#4		CONT.	8"
FC3.0	3'-0"	CONT.	12"	#4	2'-6"	18"	5	#4		CONT.	7.5"
SQUARE FOOTINGS											
FS2.0	2'-0"	2'-0"	12"	3	#4	1'-6"	9"	3	#4	1'-6"	9"
FS2.5	2'-6"	2'-6"	12"	4	#4	2'-0"	8"	4	#4	2'-0"	8"
FS3.0	3'-0"	3'-0"	12"	5	#4	2'-6"	7.5"	5	#4	2'-6"	7.5"
FS3.5	3'-6"	3'-6"	12"	5	#4	3'-0"	9"	5	#4	3'-0"	9"
FS4.0	4'-0"	4'-0"	12"	6	#4	3'-6"	8.4"	6	#4	3'-6"	8.4"
FS4.5	4'-6"	4'-6"	12"	7	#4	4'-0"	8"	7	#4	4'-0"	8"
FS5.0	5'-0"	5'-0"	14"	8	#4	4'-6"	7.7"	8	#4	4'-6"	7.7"

METAL CONNECTOR SCHEDULE				
MARK	SIMPSON CONNECTOR	ATTACHMENT ¹	COMMENTS	
A34	A34 ANCHOR	(8)-8d NAILS		
A35	A35 ANCHOR	(12)-8d NAILS		
CS14x40	CS14x40" LONG STRAP	FILL HOLES WITH 10d NAILS	SEE DETAIL 1/S6.2	
CS14x48	CS14x48" LONG STRAP	FILL HOLES WITH 10d NAILS	SEE DETAIL 2/S6.2	
CS16x40	CS16x40" LONG STRAP	FILL HOLES WITH 8d NAILS	SEE DETAIL 1/S6.2	
CS16x48	CS16x48" LONG STRAP	FILL HOLES WITH 8d NAILS	SEE DETAIL 2/S6.2	
DSCSR2	DSCSR/L-SDS3 TWIST STRAP	(24)-SDS 1/4"x3"	SIM. TO DETAIL 9/S6.1	
H1	H1 ANCHOR	(10)-8d NAILS		
HTS30C2	HTS30C TWIST STRAP	(20)-10d NAILS	SEE DETAIL 9/S6.1	
LTP4	LTP4 ANCHOR	(12)-8d NAILS		
MST37	MST37 STRAP	(42)-16d NAILS	SEE DETAIL 10&11&12/S6.1	
MST48	MST48 STRAP	(34)-16d NAILS	SEE DETAIL 6/S6.2	
MSTA21	MSTA21 STRAP	(16)-10d NAILS	SEE DETAIL 6/S6.2	
MSTC48B3	MSTC48B3 STRAP	(54)-10d NAILS	SEE SIMPSON CATALOG	
MST24C2	MST24C TWIST STRAP	(14)-10d NAILS	SEE DETAIL 11/S5.1 & 9/S6.2	
MST30C2	MST30C TWIST STRAP	(14)-10d NAILS	SEE DETAIL 9/S6.1	

METAL CONNECTOR NOTES:
 1. USE 1/2" LONG NAILS WHEN INSTALLED IN 1/2" WOOD THICKNESS. OTHERWISE USE FULL LENGTH.
 2. STRAP MAY REQUIRE BEING INSTALLED PRIOR TO INSTALLATION OF WALL SHEATHING AND/OR ADJACENT FRAMING, AND/OR SETTING TRUSSES. COORDINATE AS NECESSARY.

BRICK VENEER STEEL ANGLE LINTEL SCHEDULE		
OPENING SIZE	ANGLE SIZE	COMMENTS
0'-0" to 6'-11"	L3.1/2"x3.1/2"x1/4"	
7'-0" to 8'-11"	L4"x3.1/2"x1/4"	
9'-0" to 9'-11"	L5"x3.1/2"x1/4"	
10'-0" to 18'-0"	L5"x3.1/2"x1/4"	CONNECT STEEL ANGLE TO LVL BEAM WITH 1/2" DIA. x 3" LAG SCREWS AT 24" O.C.

BRICK VENEER STEEL ANGLE LINTEL NOTES:
 1. ALL STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 1" PER FOOT OF OPENING OR 4" MINIMUM TYPICAL. MAXIMUM BEARING LENGTH NEED NOT EXCEED 12".
 2. LINTELS ARE DESIGNED TO SUPPORT UNIFORM LOADS CONSISTING ONLY OF WEIGHT OF WALL WITH A 90 DEGREE ISOSCELES TRIANGLE AREA ABOVE OPENING.
 3. ALL STEEL LINTELS ARE TO HAVE LONG LEG VERTICAL.
 4. ALL ANGLE LINTELS SHALL BE CORROSIVE RESISTANT.

GENERAL STRUCTURAL NOTES

- CONCRETE, FOOTINGS, AND FOUNDATIONS:
 - SOIL BEARING PRESSURE IS ASSUMED TO BE AT LEAST 1500 PSF BY OWNER. NOTIFY THE ENGINEER IF THE SOIL BEARING PRESSURE IS FOUND TO BE LESS THAN 1500 PSF.
 - ALL FOOTINGS SHALL BE ESTABLISHED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. ALL EXTERIOR FOOTINGS SHALL HAVE A MINIMUM GRADE OF 30", OR THE LOCAL FROST DEPTH, WHICHEVER IS GREATER, BEFORE FINISHED GRADE.
 - THE NATURAL UNDISTURBED SOIL BELOW ALL FOOTINGS SHALL BE REPLACED OR BE MANUFACTURED STRUCTURAL FILL. ALL SPOTS AND GRANULAR BASE OR UNCOMPACTED STRUCTURAL FILL.
 - COMPACTED STRUCTURAL FILL: ALL FILL MATERIAL SHALL BE A WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM SIZE LESS THAN 4 INCHES AND WITH NOT MORE THAN 10 PERCENT PASSING A NO. 200 SIEVE. IT SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557. ALL FILLS SHALL BE TESTED. COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS.
 - ALL CONCRETE SLABS SHALL BE PLACED OVER 4" MINIMUM FREE DRAINING GRANULAR BASE OR UNCOMPACTED STRUCTURAL FILL.
 - SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS AS PER DETAILS.
 - THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS AND FOUNDATIONS SHALL BE 2500 PSI FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 3000 PSI FOR RESIDENTIAL STRUCTURES. USE 4000 PSI FOR SUSPENDED SLABS AND ALL OTHER CONCRETE.
 - REINFORCEMENT STEEL SHALL BE GRADE 60 (F_y = 60 KSI).
 - SUSPENDED SLABS AND ANY SUPPORTING STEEL BEAMS SHALL BE APPROPRIATELY FULLY SHORED 14 DAYS MINIMUM.
 - AT CONTRACTOR'S AND/OR OWNER'S OPTION, USE EPOXY COATED REBAR IN SUSPENDED SLABS FOR EXTENDED SLAB LIFE.
 - EPOXY BOLTS SHALL BE ALL-THREAD GRADE A307 MIN. SMOOTH SHANK OR REBAR WITH WEDGE ANCHORS SHALL NOT BE USED.
 - REINFORCEMENT STEEL SHALL MEET THE FOLLOWING CONCRETE COVER REQUIREMENTS:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ----- 3"
 - FORMED CONCRETE EXPOSED TO EARTH OR WEATHER ----- 1 1/2"
 - FORMED CONCRETE NOT EXPOSED TO EARTH OR WEATHER ----- 3/4"
 - REINFORCEMENT STEEL SHALL HAVE THE FOLLOWING MINIMUM LAP SPLICE LENGTHS, UNLESS NOTED OTHERWISE ON DRAWINGS:
 - 30 BAR DIA. FOR #3 AND #4 BARS
 - 40 BAR DIA. FOR #5 THRU #8 BARS
 - FOR ALL OPENINGS LESS THAN 6'-6" IN CONCRETE FOUNDATION WALLS, PROVIDE A 10" DEEP CONCRETE HEADER WITH (2) #4 BARS MINIMUM, UNLESS NOTED OTHERWISE. EXTEND BARS 24" MINIMUM BEYOND EDGE OF THE OPENINGS AND PLACE BARS 18" ABOVE TOP OF OPENING. CONTACT THE ENGINEER FOR REINFORCING OF OPENINGS GREATER THAN 6'-6" IF NOT NOTED ON PLANS.
 - FOUNDATION ANCHOR BOLTS SHALL BE 5/8" DIA. x 12" MIN. FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 1/2" DIA. x 10" MIN. FOR RESIDENTIAL STRUCTURES UNLESS NOTED OTHERWISE. SPACING OF ANCHOR BOLTS SHALL BE 32" O.C. MAX. WITH ONE LOCATED AT LEAST WITHIN 4" TO 12" OF EACH END OF PLATE. SEE WALL SCHEDULE FOR MORE STRINGENT ANCHOR BOLT REQUIREMENTS AT SPECIFIC SHEAR WALLS.
 - PROVIDE 7" MIN. EMBEDMENT INTO CONCRETE.
 - USE 0.229"x3"x3" PLATE WASHERS AT BOLTS FOR PLATE ANCHORAGE.
 - EPOXY BOLTS MAY BE USED IN LIEU OF ANCHOR BOLTS (SEE DETAIL 3/S4.2).
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR SOIL SHALL CONSIST OF TREATED WOOD OR HAVE A MOISTURE PROTECTANT PLACED BETWEEN THE WOOD AND CONCRETE, MASONRY, OR SOIL. FASTENERS INTO TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

II. WOOD FRAMING:

- MATERIALS:
 - GLU-LAM TIMBER: 24F-V4 DF/DF
 - FRAMING LUMBER: DOUGLAS FIR-LARCH NO. 2 OR BETTER
 - SHEATHING: APA RATED (INT. GRADE WITH EXT. GLUE) AS FOLLOWS WITH THE FOLLOWING MINIMUM NAILING REQUIREMENTS, U.N.O. PLACE ROOF AND FLOOR SHEATHING IN STAGGERED LAYOUT.

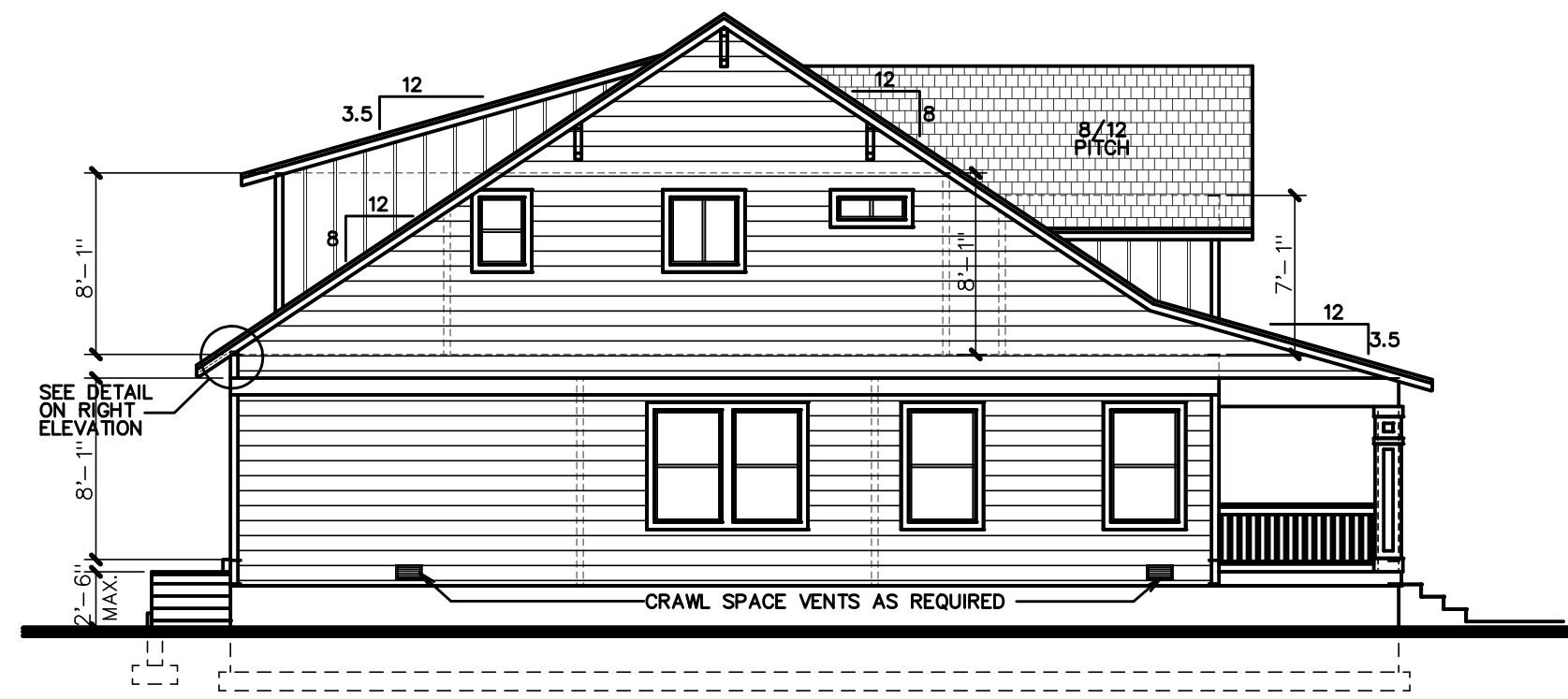
ROOF: 5/8" THICK OSB PANELS WITH A 32/16 SPAN RATING (7/16" THICK PANELS WITH 24/16 SPAN RATING MAY BE USED FOR RESIDENTIAL BUILDINGS WITH SNOW LOADS NOT EXCEEDING 40 PSF). ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES. BLOCKING, TRUSS ROD STRUTS, AND GABLE END WALLS/TRUSSES AND EXPANSION JOINTS AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSIONS PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS. (8d NAILS MAY BE USED WITH 7/16" PANELS).

FLOOR: 3/4" THICK TONGUE AND GROOVE OSB PANELS, GLUE AND NAIL ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES AND BLOCKING, AND AT 10" O.C. AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSIONS PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS.

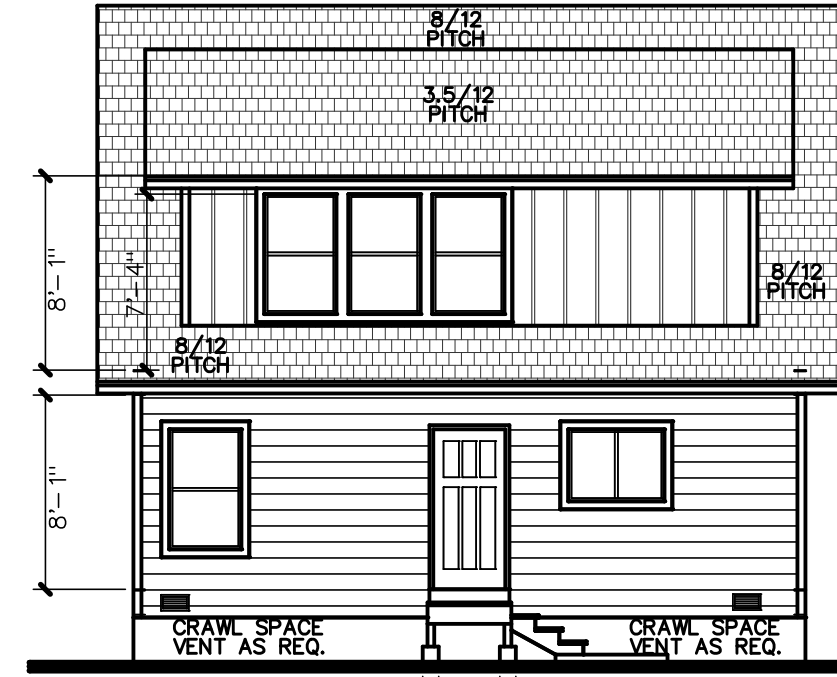
WALLS: 7/16" THICK OSB PANELS, UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE, NAIL ALL PANELS WITH 8d COMMON NAILS AT 4" O.C. AT ALL EDGES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - 16 GAGE STAPLES WITH 7/16" MIN. CROWN WIDTH AND 1" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR NAILS.
- PROVIDE SUPPORT STUDS AT THE ENDS OF ALL BEAMS, HEADERS, AND GIRDER TRUSSES AS FOLLOWS, UNLESS NOTED OTHERWISE:
 - SPANS LESS THAN 5'-0": 1 SUPPORT STUD MINIMUM.
 - SPANS 5'-0" TO 10'-0": 2 SUPPORT STUDS MINIMUM.
 - SPANS 10'-0" TO 14'-0": 3 SUPPORT STUDS MINIMUM.
 - SPANS GREATER THAN 14'-0": 4 SUPPORT STUDS MINIMUM.
- ADDITIONALLY, SUPPORT STUDS SHALL AT LEAST MATCH THE WIDTH OF THE BEAM, HEADER, AND GIRDER TRUSS AND THE WIDTH OF THE SUPPORTING WALL.
- FOR SPANS OF 6'-0" AND GREATER, AT EXTERIOR WALLS, PROVIDE A MINIMUM OF 2 FULL HEIGHT KING STUDS (TOP PLYS BOTTOM PLY) AT THE ENDS OF ALL BEAMS, UNLESS NOTED OTHERWISE. FOR SPANS LESS THAN 6'-0", PROVIDE A MINIMUM OF 1 FULL HEIGHT KING STUD.
- USE APPROPRIATE SIMPSON POST CAPS / TIES TO CONNECT BEAMS TO POSTS / STUDS FOR SPANS OF 6'-0" AND GREATER.
- ALL WOOD POSTS SHALL HAVE APPROPRIATE SIMPSON POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UPSET. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BASE, WHERE 1" AND 8" ARE INSTALLED ON CONCRETE OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1 AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- USE APPROPRIATE SIMPSON HANGERS WHERE JOISTS AND BEAMS NEED TO HANG FROM SUPPORTING BEAMS. USE TOP FLANGE HANGERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS, AS PER DETAIL 10/S5.2.
- ALL METAL CONNECTORS, STRAPS, HOLDOWNS, HANGERS, ETC. CALLED OUT ON THE DRAWINGS SHALL BE INSTALLED WITH APPROPRIATE SIZES OF BOLTS, ATTACHMENTS, ETC. AS PER THE MANUFACTURER'S RECOMMENDATIONS.

WALL LEGEND AND ABBREVIATIONS			
SYMBOL ABBREVIATION	DESCRIPTION	SYMBOL ABBREVIATION	DESCRIPTION
A.B.	"ANCHOR BOLT"	-----	PREFAB STONE
ABV.	"ABOVE"	-----	BRICK/NATURAL STONE
A.P.O.	"AS PER OWNER"	-----	NOTCH IN TOP OF FDN. WALL
BLG.	"BELOW"	-----	CONC. FDN. WALL
BRW.	"BEARING"	-----	CONC. FOOTING
C.J.	"CONTROL/CONSTRUCTION JOINT"	-----	STEPPED FOOTING
CONC.	"CONCRETE"	-----	2x6 BEARING WALL
CONCT.	"CONTINUOUS"	-----	2x4 BEARING WALL
DET.	"DETAIL"	-----	2x6 NON-BEARING WALL
EA.	"EACH"	-----	2x4 NON-BEARING WALL
FDTN.	"FOUNDATION"	-----	2x4 NON-BEARING WALL
FTG.	"FOOTING"	-----	2x6 NON-BEARING SHEAR WALL
G.L.B.	"GLU-LAM BEAM"	-----	2x4 NON-BEARING SHEAR WALL
MAX.	"MAXIMUM"	-----	HEADER/BEAM
MIN.	"MINIMUM"	-----	6x6 POST
O.C.	"ON CENTER"	-----	6x6 POST
OPP.	"OPPOSITE"	-----	
SIM.	"SIMILAR"	-----	
TYP.	"TYPICAL"	-----	
U.N.O.	"UNLESS NOTED OTHERWISE"	-----	

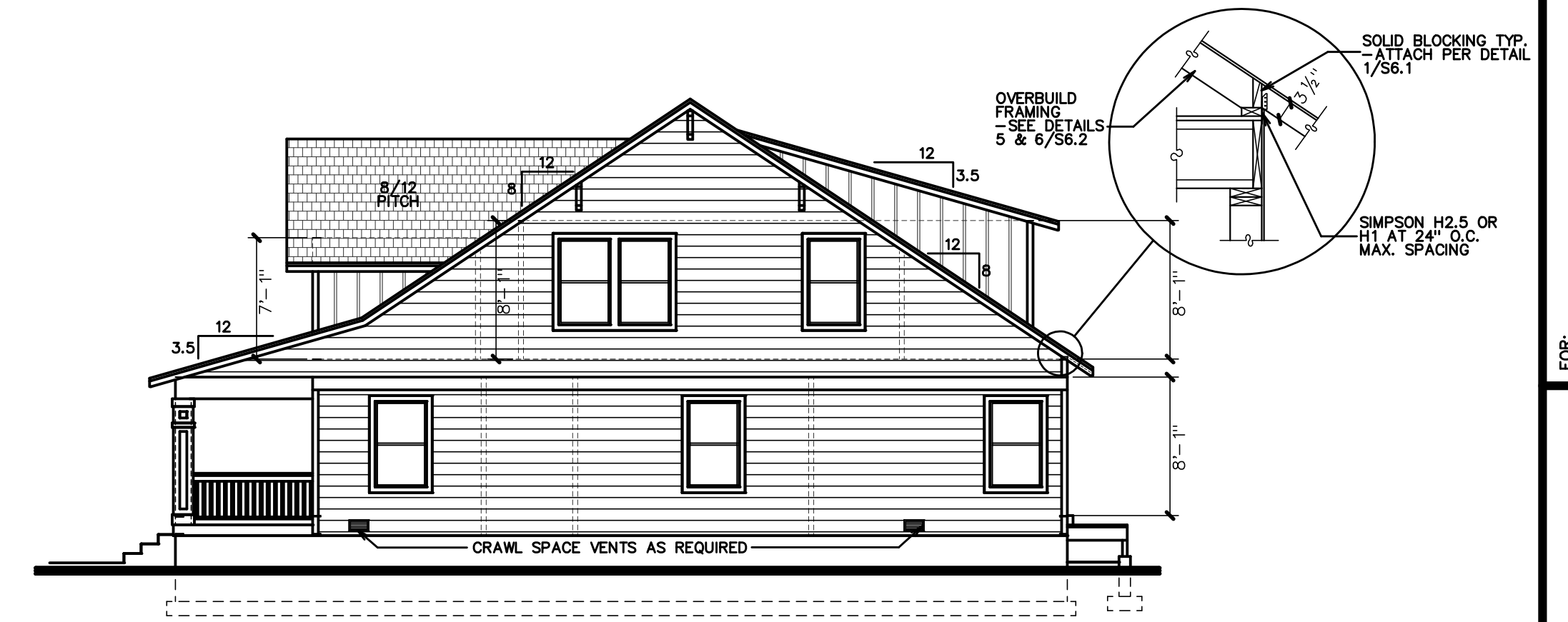
SHEET INDEX	
SHEET	DESCRIPTION
S1.1	INDEX, GENERAL STRUCTURAL NOTES, SCHEDULES
S2.1	ELEVATIONS
S2.2	BASEMENT AND/OR FOUNDATION PLAN (FLOOR FRAMING)
S2.3	MAIN FLOOR PLAN (ROOF AND UPPER FLOOR FRAMING)
S2.4	UPPER FLOOR PLAN (ROOF FRAMING)
S3.1	ROOF LAYOUT, STAIR DETAIL AND ELECTRICAL PLANS
S4.1	FOOTING AND FOUNDATION DETAILS
S4.2	FOOTING AND FOUNDATION DETAILS
S5.1	FLOOR FRAMING DETAILS
S5.2	FLOOR FRAMING DETAILS
S6.1	ROOF FRAMING DETAILS
S6	



LEFT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



RIGHT ELEVATION
SCALE: 1/8"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

REMOVE FRONT PORCH RAILING

DESIGN LOADS	
ROOF:	SNOW - 30 psf DEAD - 17 psf
FLOOR:	LIVE - 40 psf DEAD - 12 psf
DECK:	LIVE - 60 psf DEAD - 12 psf
GROUND SNOW LOAD - 43 psf	
ULTIMATE DESIGN WIND SPEED, V_{ult} - 115 mph	
NOMINAL DESIGN WIND SPEED, V_{nd} - 90 mph	
SEISMIC DESIGN CATEGORY 'D'	
SITE CLASS 'D'	
SOIL BEARING PRESSURE - 1500 psf	
CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF SNOW LOADS WITH BUILDING OFFICIAL. (NO GYP-CRETE OR LIGHTWEIGHT CONC. HAS BEEN INCLUDED IN THE FLOOR DESIGN).	

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CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

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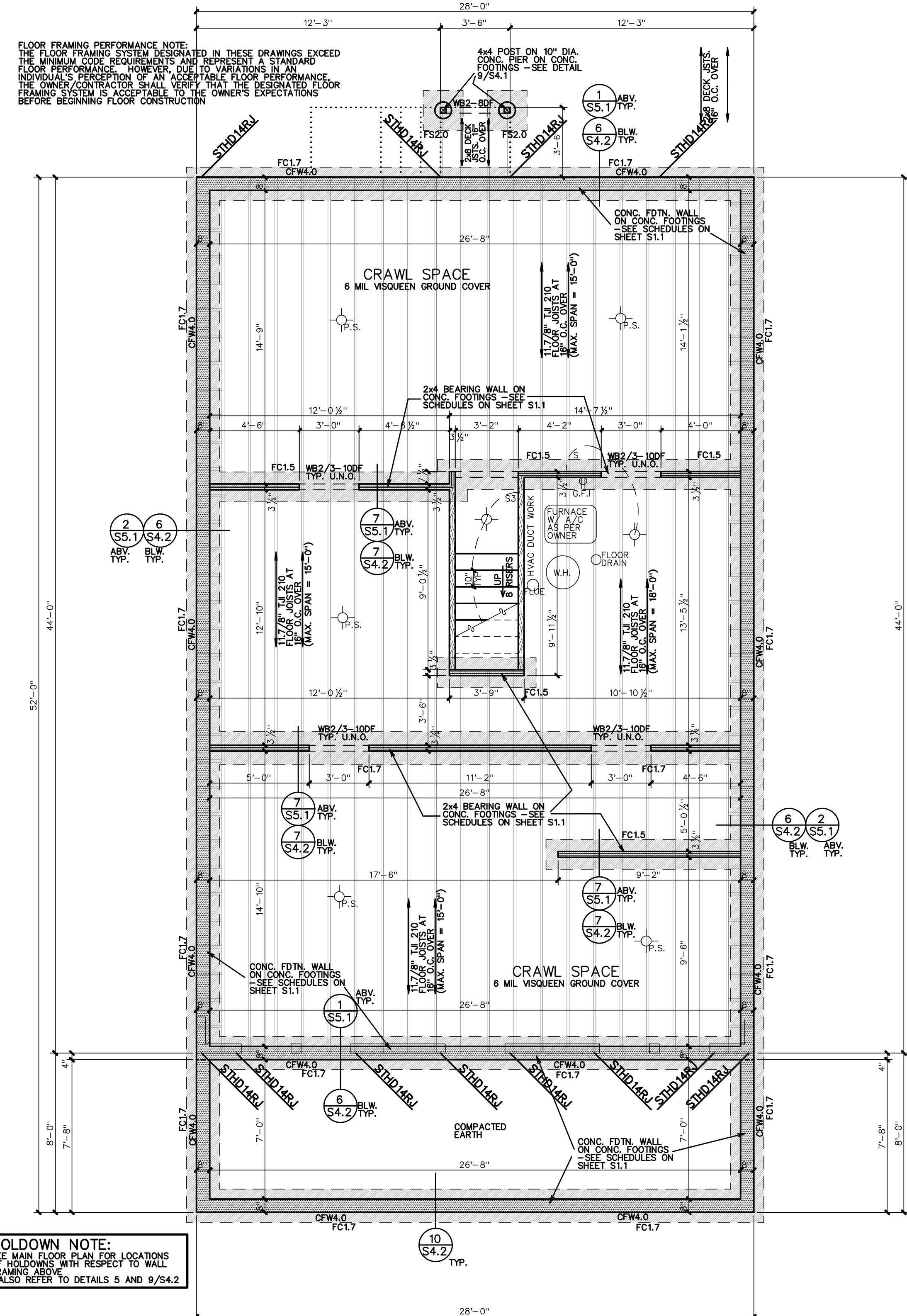


ELEVATIONS
SHEET TITLE:
DRAWN: CWH/TJH
TYPE: ORIGINAL DRAWING
DATE: 12/18/2019
JOB NO.: 19092
PLAN NO.: 1-1-1232/3-2-1032 2 STORY

S2.1

NOTES TO PLAN:

- SEE GENERAL STRUCTURAL NOTES, SCHEDULES, AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- FOOTINGS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FC3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAILS 3/S4.1 AND 4/S4.1 FOR FOOTING STEPS, CORNERS, AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- HOLD-DOWNS: SEE THE METAL HOLD-DOWN SCHEDULE ON SHEET S1.1 AND DETAILS S4.2 FOR ADDITIONAL INFORMATION. PROVIDE HOLD-DOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST FOR MASONRY HOLD-DOWNS. USE METAL OR PERMITS HOLD-DOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLD-DOWN SCHEDULE.
- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE AREAS ONLY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN IN THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.
- DECK FOOTINGS: PLASTIC CONCRETE SPOT FOOTING FORMS WITH EQUIVALENT OR GREATER FOOTING FOOTPRINT AND REINFORCING MAY BE USED IN PLACE OF TRADITIONALLY FORMED FOOTINGS.
- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/S5.2.
- CONCRETE SLAB OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING TO A DEPTH OF 1/4 THE THICKNESS OF THE SLAB. ALL DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2) #4 x 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3/1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5/1/2" THICKNESS. ALL BEARING AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3, U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S5.1 THRU S5.2, U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/S5.1, WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEED THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 1" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- TIE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MST4B STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/S5.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILINGS, RAISED CEILINGS, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3, U.N.O. ROOF OVERBUILD AREAS PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



CRAWL SPACE / FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

DESIGN LOADS	
ROOF:	SNOW - 30 psf DEAD - 17 psf
FLOOR:	LIVE - 40 psf DEAD - 12 psf
DECK:	LIVE - 60 psf DEAD - 12 psf
GROUND SNOW LOAD - 43 psf ULTIMATE DESIGN WIND SPEED, V _{ult} - 115 mph NOMINAL DESIGN WIND SPEED, V _{ind} - 90 mph SEISMIC DESIGN CATEGORY 'D' SITE CLASS 'D' SOIL BEARING PRESSURE - 1500 psf	

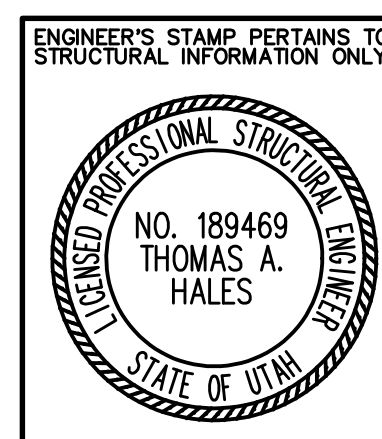
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THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:

LOT #: _____
SUBDIVISION: _____
ADDRESS: 2210 JEFFERSON _____
CITY: OGDEN _____ STATE: UTAH _____
DATE: 12/18/2019 _____

ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.



THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ASSUMPTION THAT THE USER OF THESE DRAWINGS AND SPECIFICATIONS HAS BEEN ADVISED OF THE ASSUMPTIONS AND THAT THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

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OGDEN CITY
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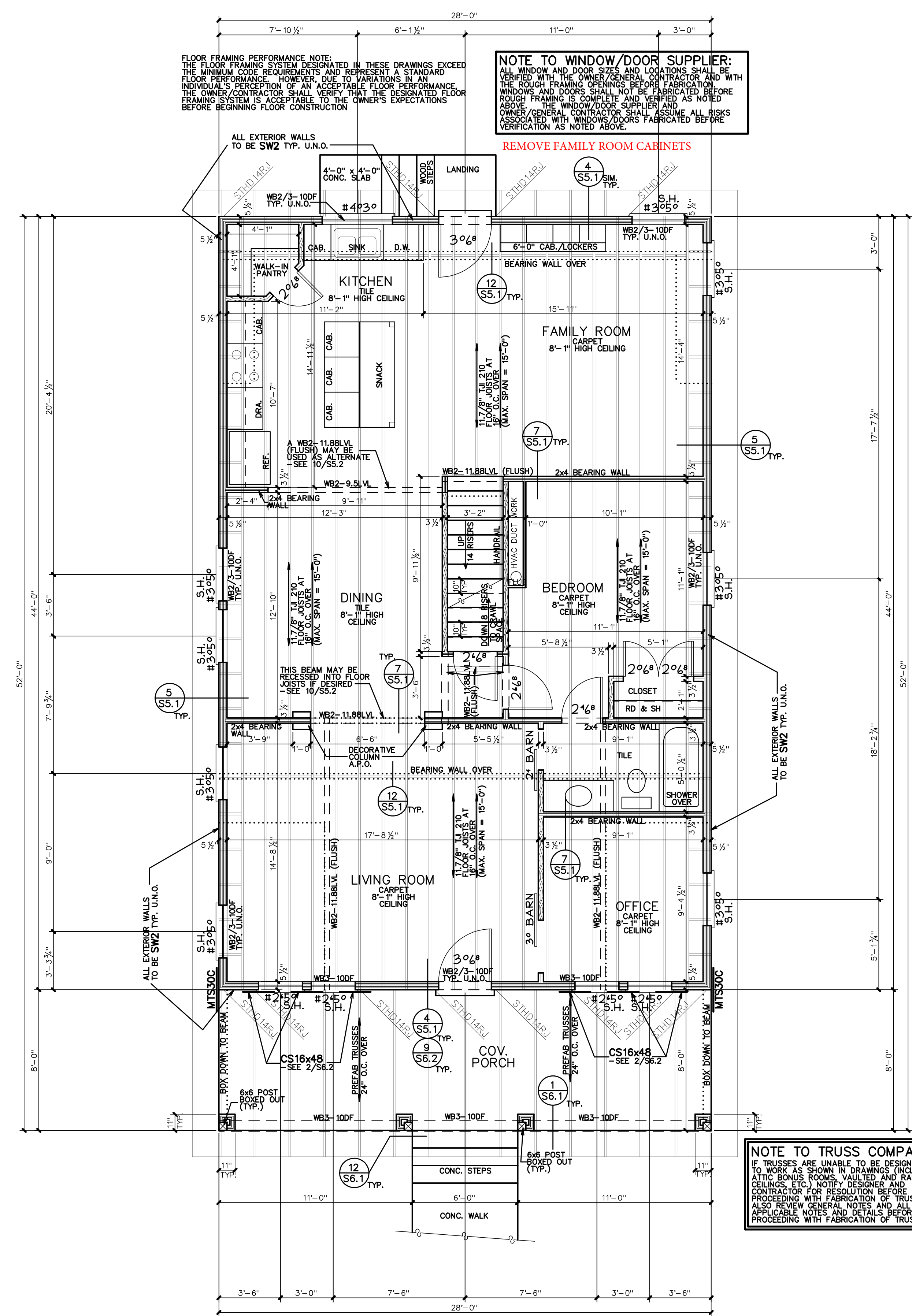


SHEET TITLE: BASEMENT/FOUNDATION PLAN
DRAWN: CWH/JCH
TYPE: ORIGINAL DRAWING
DATE: 12/18/2019
JOB NO.: 19092
PLAN NO.: 1-1-1232/3-2-1032.2 STORY

S2.2

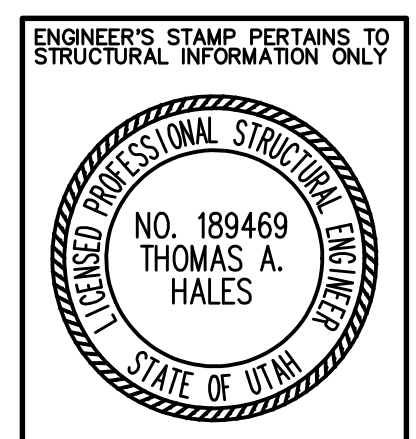
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- ANCHOR BOLTS: SEE THE GENERAL STRUCTURAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
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- RETAINING WALLS: SEE DETAILS 1/S4.1 AND 2/S4.1 FOR RETAINING WALL CONSTRUCTION INFORMATION FOR WALLS RETAINING LANDSCAPE OR EXISTING UTILITY. CONTACT THE DESIGNER FOR RETAINING WALLS EXCEEDING THE HEIGHT SHOWN ON THE DETAILS OR AREAS WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF THE WALL.
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- CONCRETE PORCH SLABS: PROVIDE REINFORCING FOR SELF SUSPENDED CONCRETE PORCH SLABS AS SHOWN IN DETAIL 4/S5.2.
- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS WITH A LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT. PROVIDE CUTTING EDGE DEPTH OF 1/4 THE THICKNESS OF THE SLAB. DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2)-#4 x 48" REBAR. SEE DETAILS.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO ALL SHEAR WALLS BEARING WIND FORCE, WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3 U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3 U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S5.1 THRU S5.2. U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING AND/OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, OR 9/S5.1 WHERE POSSIBLE. ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENT A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BEAR CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 4" ANCHOR BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS SEE DETAILS 9/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- THE UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MST48 STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/S5.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3 U.N.O. PROVIDE OVERBUILD TRUSSES OR STICK FRAME AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"
 MAIN FLOOR AREA = 1232 SQ. FT.
 UPPER FLOOR AREA = 1032 SQ. FT.
 TOTAL AREA = 2264 SQ. FT.
 COV. PORCH AREA = 224 SQ. FT.



DESIGN LOADS	
ROOF:	SNOW - 30 pcf DEAD - 17 pcf
FLOOR:	LIVE - 40 pcf DEAD - 12 pcf
DECK:	LIVE - 60 pcf DEAD - 12 pcf
GROUND SNOW LOAD - 43 pcf ULTIMATE DESIGN WIND SPEED, V _W - 115 mph NOMINAL DESIGN WIND SPEED, V _{WD} - 90 mph SEISMIC DESIGN CATEGORY 'D' SITE CLASS 'D' SOIL BEARING PRESSURE - 1500 pcf	

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 THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
 LOT #: _____
 SUBDIVISION: _____
 ADDRESS: 2210 JEFFERSON
 CITY: OGDEN STATE: UTAH
 ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
 DATE: 12/18/2019

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

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OGDEN CITY
 2210 JEFFERSON AVE.
 OGDEN, UTAH

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 304 WEST PLEASANT VIEW DR.
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 WWW.LOMONDVIEW.COM

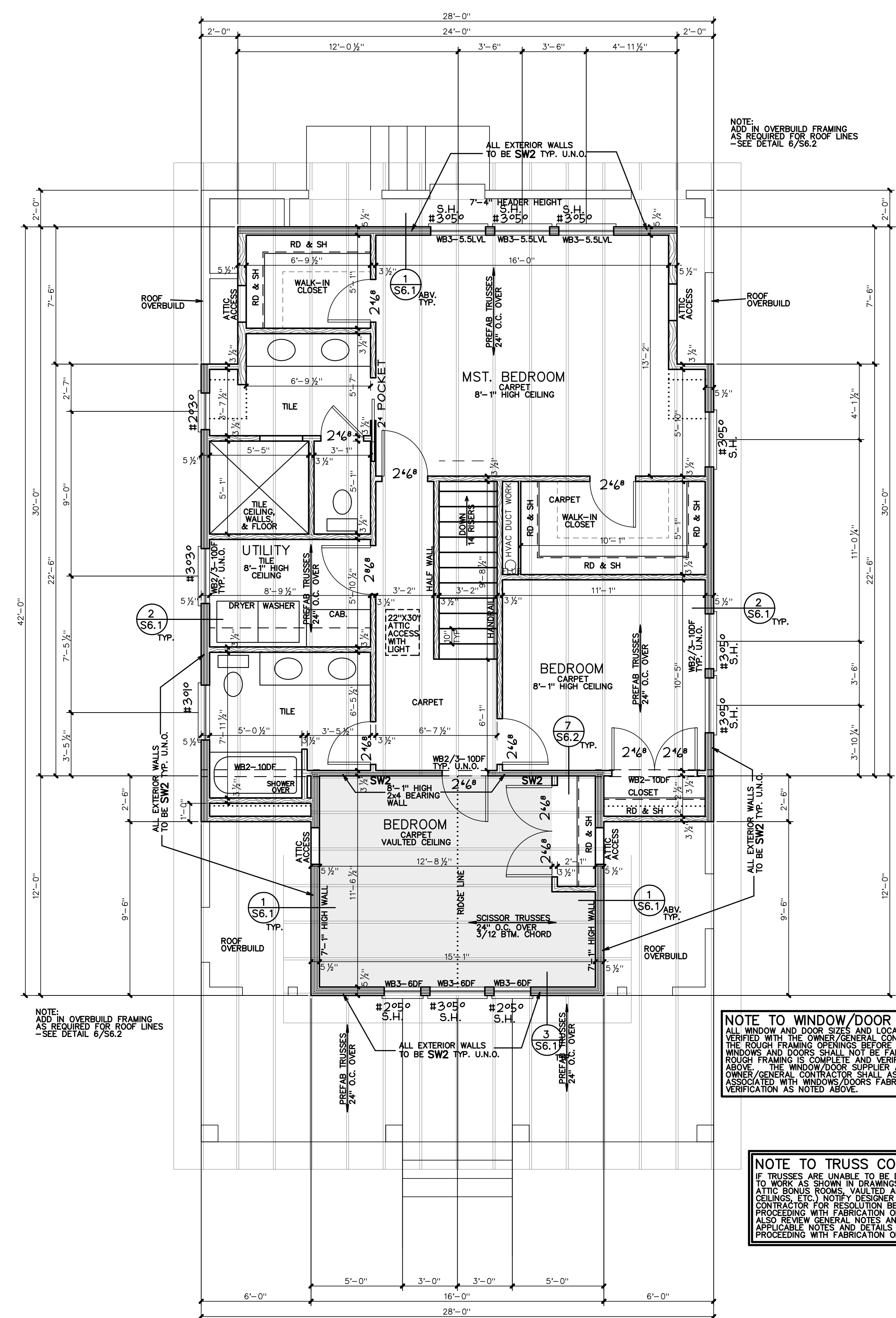


MAIN FLOOR PLAN
 DRAWN: CWH/7JH
 TYPE: ORIGINAL DRAWING
 DATE: 12/18/2019
 JOB NO.: 19092
 PLAN NO.: 1-1-1-1232/3-2-1032-2 STORY

SHEET
 S2.3

NOTES TO PLAN:

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- FOUNDATION WALLS: SEE THE GENERAL STRUCTURAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE, AND THE DETAILS ON SHEETS S4.1 AND S4.2 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 4/S4.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. USE REBAR FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
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- CONCRETE SLABS OVER BACKFILL: PROVIDE REBAR DOWELS FROM CONCRETE SLABS TO ADJACENT CONCRETE FOUNDATION WALLS OVER BACKFILL AREAS AS SHOWN IN DETAIL 3/S5.2.
- CONCRETE SLAB CONTROL JOINTS: SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOINTS PROVIDED AT A SPACING NOT TO EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION. INSTALL JOINTS SO THE LENGTH TO WIDTH RATIO BETWEEN THE JOINTS IS NOT MORE THAN 1.25 TO 1. INSTALL CONTROL JOINTS WITHIN 24 HOURS OF CONCRETE PLACEMENT BY SAW CUTTING TO A DEPTH OF 1/4 THE THICKNESS OF THE SLAB. ALL DISCONTINUOUS CONTROL OR CONSTRUCTION JOINTS SHALL BE REINFORCED WITH (2)-#4 x 48" REBAR. SEE DETAILS.
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- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.3, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWINGS, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 8'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 8'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- FLOOR FRAMING: ALL FLOOR JOISTS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S4.1 THRU S6.2, U.N.O. FLOOR JOISTS THAT RUN PARALLEL TO EXTERIOR BEARING WALLS OR SHEAR WALLS SHALL HAVE SOLID BLOCKING PROVIDED BY ONE OF THE METHODS SHOWN IN DETAILS 2, 3, 5, 6, 8, 9, OR 9/S5.1. WHERE POSSIBLE, ALL FLOOR FRAMING SHALL BE CONTINUOUS OVER INTERMEDIATE BEARING SUPPORTS.
- FLOOR FRAMING PERFORMANCE: THE FLOOR FRAMING SYSTEM DESIGNATED IN THESE DRAWINGS EXCEEDS THE MINIMUM CODE REQUIREMENTS AND REPRESENTS A STANDARD FLOOR PERFORMANCE. HOWEVER, DUE TO VARIATIONS IN AN INDIVIDUAL'S PERCEPTION OF AN ACCEPTABLE FLOOR PERFORMANCE, THE OWNER/CONTRACTOR SHALL VERIFY THAT THE DESIGNATED FLOOR FRAMING SYSTEM IS ACCEPTABLE TO THE OWNER'S EXPECTATIONS BEFORE BEGINNING FLOOR CONSTRUCTION.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE METAL POST CAPS AND BASE CONNECTORS INSTALLED. GOOD FOR AT LEAST 900 POUNDS LIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BEHIND WALLS. WOOD POSTS ARE INSTALLED ON CONC. FLOORS OR FLOORING. SEE DETAILS 8/S4.1, 10/S4.1, AND 8/S4.2 FOR ADDITIONAL INFORMATION.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- DECK FLOORS: ALL DECK FLOORS SHALL BE HORIZONTALLY TIED TO INTERIOR FLOORS TO RESIST SEISMIC FORCES. SEE DETAIL 11/S5.1.
- UPPER FLOOR WALLS TO LOWER FLOOR WALLS WITH SIMPSON MST4B STRAP WHERE NOTED ON PLANS. SEE METAL CONNECTOR SCHEDULE AND DETAIL 6/S5.2.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.) NOTIFY THE DESIGNER AND THE CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS, RAFTER, AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEETS S6.1 THRU S6.3, U.N.O. AT ROOF OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR STICK FRAMING AS SHOWN IN DETAIL 6/S6.2.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A ZONAL MIN. PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.



NOTE TO WINDOW/DOOR SUPPLIER:
 ALL WINDOW AND DOOR SIZES AND LOCATIONS SHALL BE VERIFIED WITH THE OWNER/GENERAL CONTRACTOR AND WITH THE ROUGH FRAMING OPENINGS BEFORE FABRICATION. WINDOWS AND DOORS SHALL NOT BE FABRICATED BEFORE ROUGH FRAMING IS COMPLETE AND VERIFIED AS NOTED ABOVE. THE WINDOW/DOOR SUPPLIER AND OWNER/GENERAL CONTRACTOR SHALL ASSUME ALL RISKS ASSOCIATED WITH WINDOWS/DOORS FABRICATED BEFORE VERIFICATION AS NOTED ABOVE.

NOTE TO TRUSS COMPANY:
 IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED AND RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES. ALSO REVIEW GENERAL NOTES AND ALL OTHER APPLICABLE NOTES AND DETAILS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.

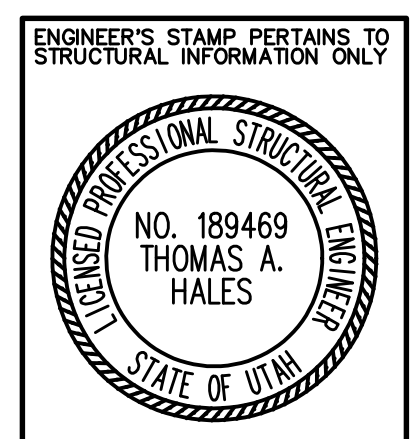
NOTE:
 ADD IN OVERBUILD FRAMING AS REQUIRED FOR ROOF LINES - SEE DETAIL 6/S6.2

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
 UPPER FLOOR AREA = 1032 SQ. FT.

DESIGN LOADS	
ROOF:	SNOW - 30 psf DEAD - 17 psf
FLOOR:	LIVE - 40 psf DEAD - 12 psf
DECK:	LIVE - 60 psf DEAD - 12 psf
GROUND SNOW LOAD - 43 psf ULTIMATE DESIGN WIND SPEED, V _W - 115 mph NOMINAL DESIGN WIND SPEED, V _{WD} - 90 mph SEISMIC DESIGN CATEGORY 'D' SITE CLASS 'D' SOIL BEARING PRESSURE - 1500 psf	

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 THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
 LOT #: _____
 SUBDIVISION: _____
 ADDRESS: 2210 JEFFERSON _____
 CITY: OGDEN STATE: UTAH
 ANY OTHER USE OF THESE DRAWINGS & DESIGNS IS STRICTLY FORBIDDEN AND VIOLATORS WILL BE PROSECUTED.
 DATE: 12/18/2019



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CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS. READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

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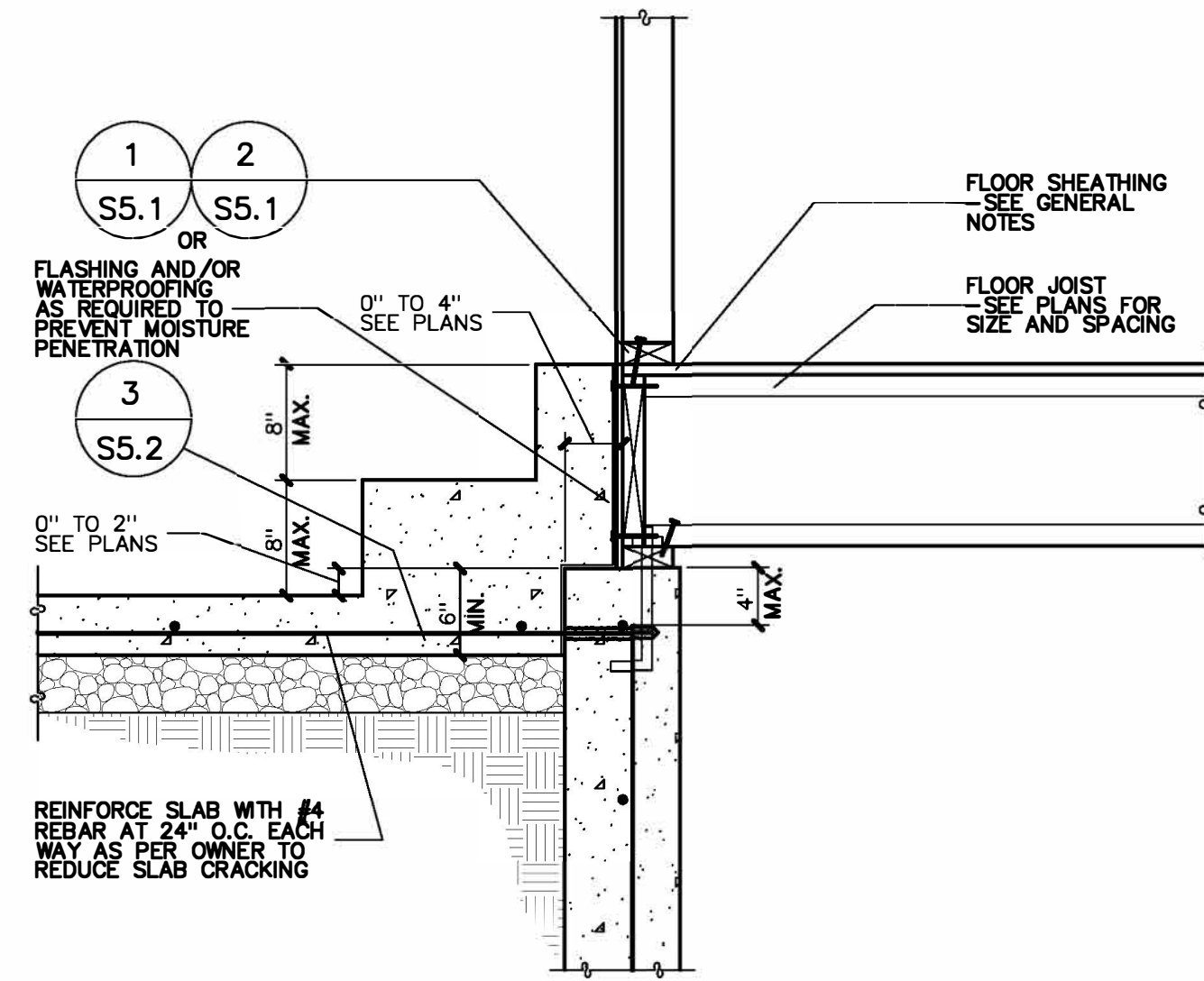
OGDEN CITY
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FOR:
 304 WEST PLEASANT VIEW DR.
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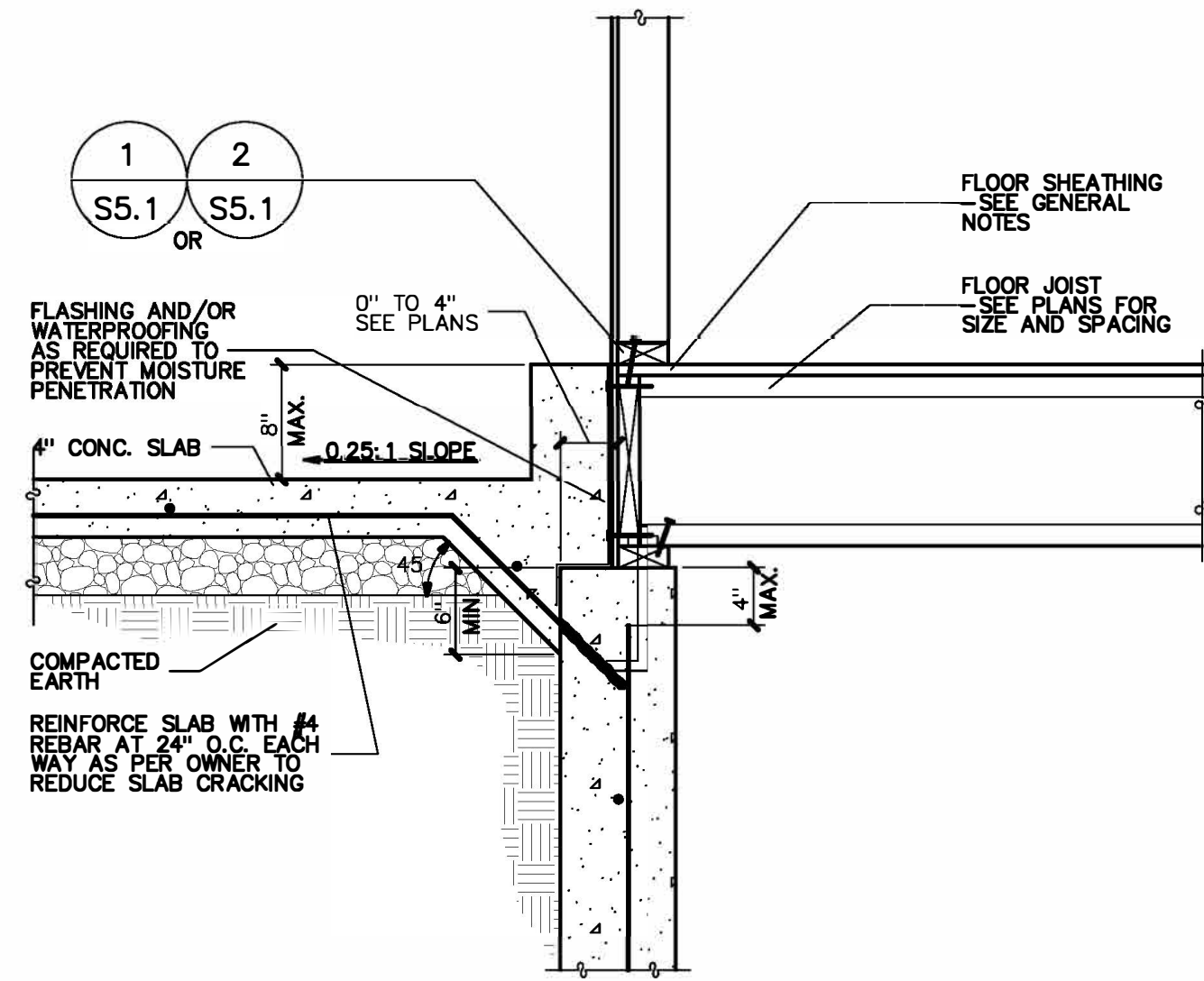


UPPER FLOOR PLAN
 DRAWN: CWH/JCH
 TYPE: ORIGINAL DRAWING
 DATE: 12/18/2019
 JOB NO.: 19092
 PLAN NO.: 1-1-1-1232/3-2-1032.2 STORY

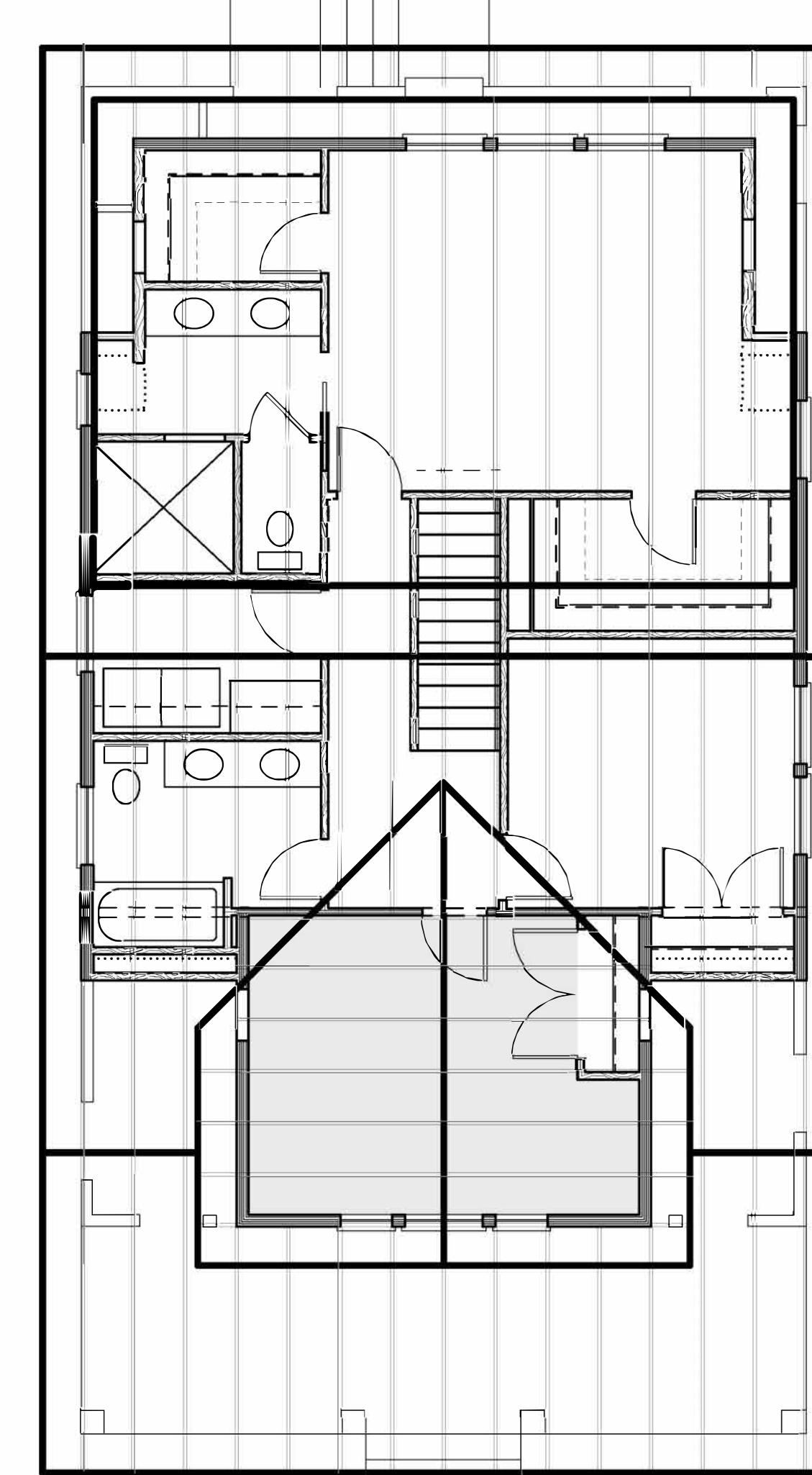
S2.4



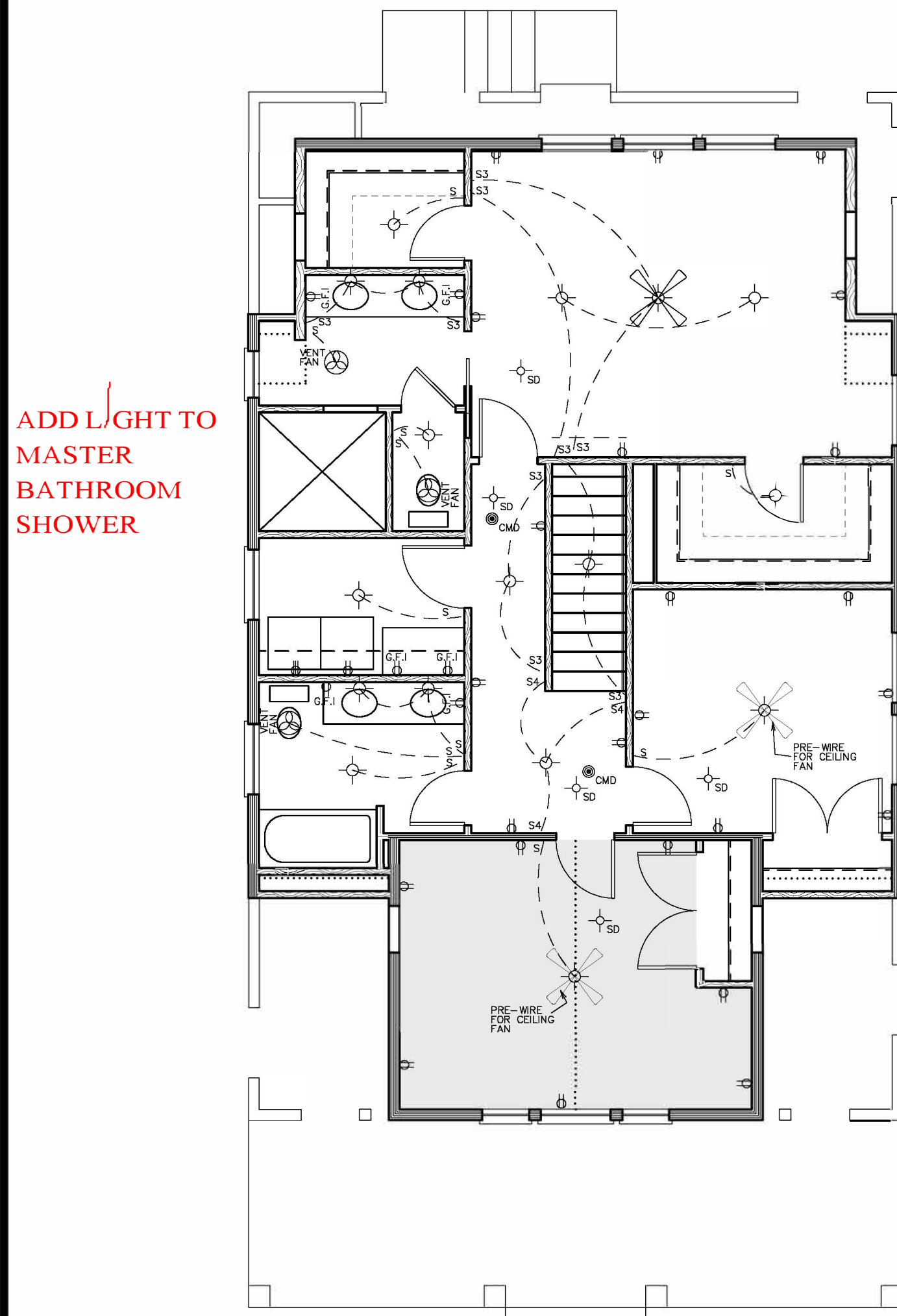
RAISED PATIO SLAB FOR STAIRS DETAIL
NO SCALE



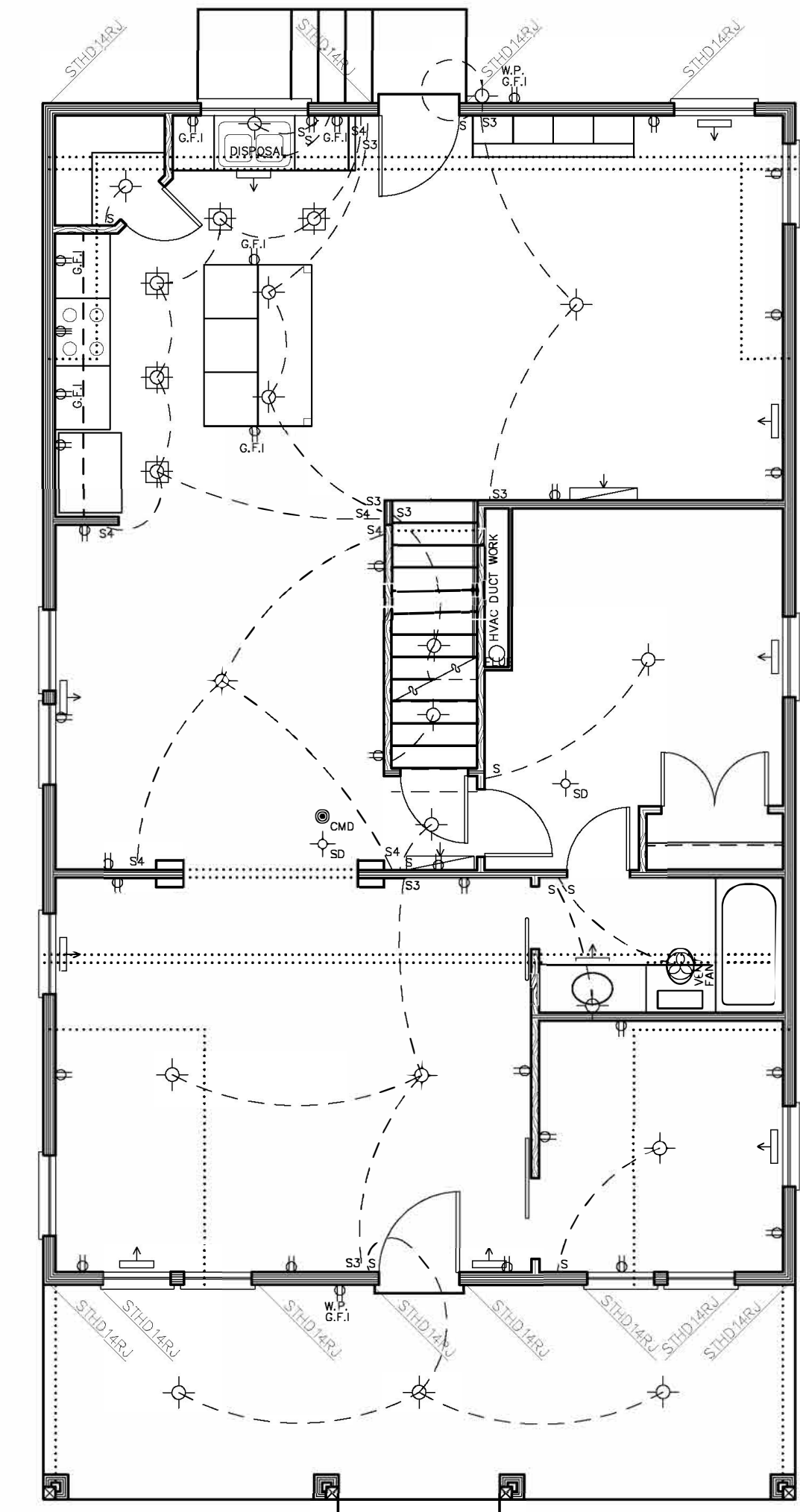
RAISED PATIO SLAB DETAIL
NO SCALE



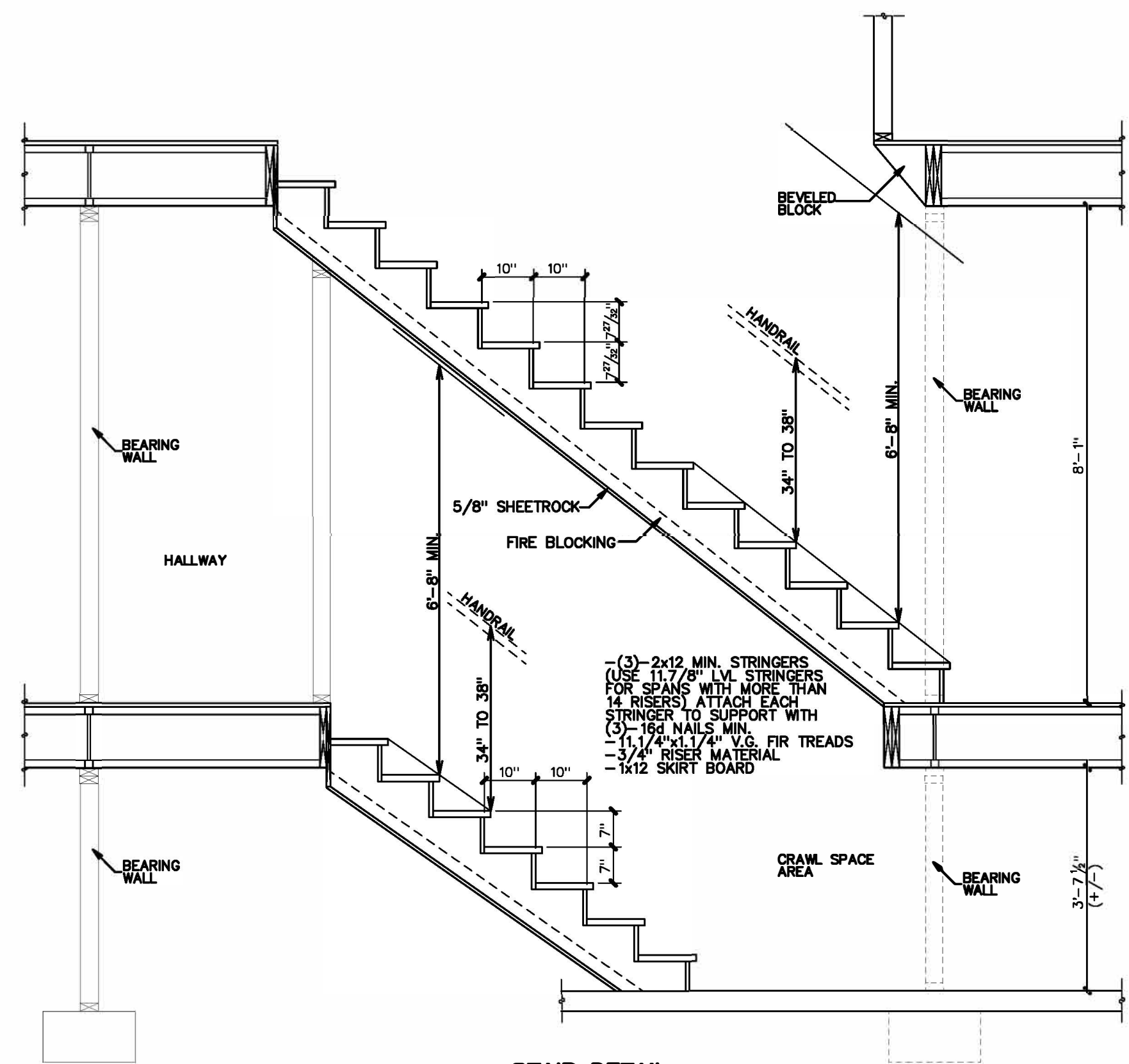
ROOF LAYOUT
SCALE: 3/16" = 1'-0"



UPPER FLOOR ELEC./H.V.A.C. LAYOUT
SCALE: 3/16" = 1'-0"



MAIN FLOOR ELEC./H.V.A.C. LAYOUT
SCALE: 3/16" = 1'-0"



STAIR DETAIL
SCALE 1/2" = 1'-0"

GENERAL NOTES

- I. ROOF NOTES
 1. PROVIDE ICE AND WATER SHIELD ON ROOF FROM ALL EAVE EDGES TO 24" INSIDE THE EXTERIOR WALL. ROOFS WITH SLOPES LESS THAN 4/12 SHALL HAVE ICE AND WATER SHIELD INSTALLED ON ENTIRE ROOF PLANE.
 2. PROVIDE INSULATION DEPTH MARKERS EVERY 300 SQ. FT. OF ATTIC SPACE
 3. PROVIDE ATTIC VENTILATION AND ATTIC ACCESS AS PER LOCAL CODE
 4. ATTIC VENTILATION: TOTAL SQ. FT./300x144 = TOTAL SQ. IN.
 - PROVIDE 50% ATTIC VENTS AND 50% SOFFIT VENTS
 - BAFFLE TRUSS CAVITIES AT EXTERIOR WALLS
- II. ELECTRICAL NOTES
 1. THE ELECTRICAL PLAN SHOWN ONLY REPRESENTS A BASIC ELECTRICAL LAYOUT. ALL ELECTRICAL SHALL BE COORDINATED WITH THE OWNER AND SHALL MEET THE APPLICABLE ELECTRICAL CODES.
 2. SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, NEXT TO A FURNACE AND WATER HEATER, AND ON EACH ADDITIONAL STORY OF THE DWELLING AS PER LOCAL ELECTRICAL CODES.
 3. CARBON MONOXIDE DETECTORS (CMD) SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES AS PER LOCAL CODE.
 4. ARC-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN ALL BEDROOMS AS PER LOCAL ELECTRICAL CODES.
 5. GROUND-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN ALL OUTDOOR OUTLETS AND OUTLET CIRCUITS IN KITCHENS, BATHROOMS, GARAGES, AND WHERE OUTLETS ARE CLOSE TO A WATER SOURCE AS PER LOCAL ELECTRICAL CODES.
- III. MISCELLANEOUS NOTES
 1. ADDITIONS: CONTRACTOR SHALL COORDINATE AND ADJUST FOUNDATION AND OTHER WALL HEIGHTS AS NEEDED TO ALLOW FLOOR LEVELS TO BE FLUSH BETWEEN NEW AND EXISTING FLOORS. ALSO, THE HVAC SYSTEM INTO EXISTING HVAC SYSTEM, OR PROVIDE NEW AS PER LOCAL CODES.
 2. POISON SOIL FOR TERMITE CONTROL AS PER LOCAL CODE REQUIREMENTS
 3. PROVIDE 5/8" TYPE "X" FIRE RATED GYPSUM BOARD AT AREAS AS REQUIRED BY LOCAL FIRE CODE
 4. WINDOW FRAMING: ALL OPENABLE WINDOWS THAT HAVE A WINDOW SILL LOCATED MORE THAN 2" ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW SHALL BE PLACED SO THAT THE WINDOW SILL IS AT LEAST 2" ABOVE THE INTERIOR FINISHED FLOOR OR SHALL HAVE A WINDOW GUARD PROVIDED AS PER CODE. ALL WINDOWS USED FOR EGRESS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR.
 5. PROVIDE R-13 INSULATION MINIMUM IN 2x4 EXTERIOR WALLS, AND R-19 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS. PROVIDE R-38 INSULATION MINIMUM AT ALL INTERIOR TRUSS ATTIC SPACES AND RAFTER FRAMING.
 6. CRAWL SPACE VENTS: PROVIDE CRAWL SPACE VENTS AS PER LOCAL CODE REQUIREMENTS FOR ALL CRAWL SPACE AREAS.

ALL DIMENSIONS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE BASIS OF CONSTRUCTION, INCLUDING THE FOUNDATION AND STRUCTURE, SHALL BE AS SHOWN ON THE DRAWINGS AND SHALL BE CONFORMANT WITH THE LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

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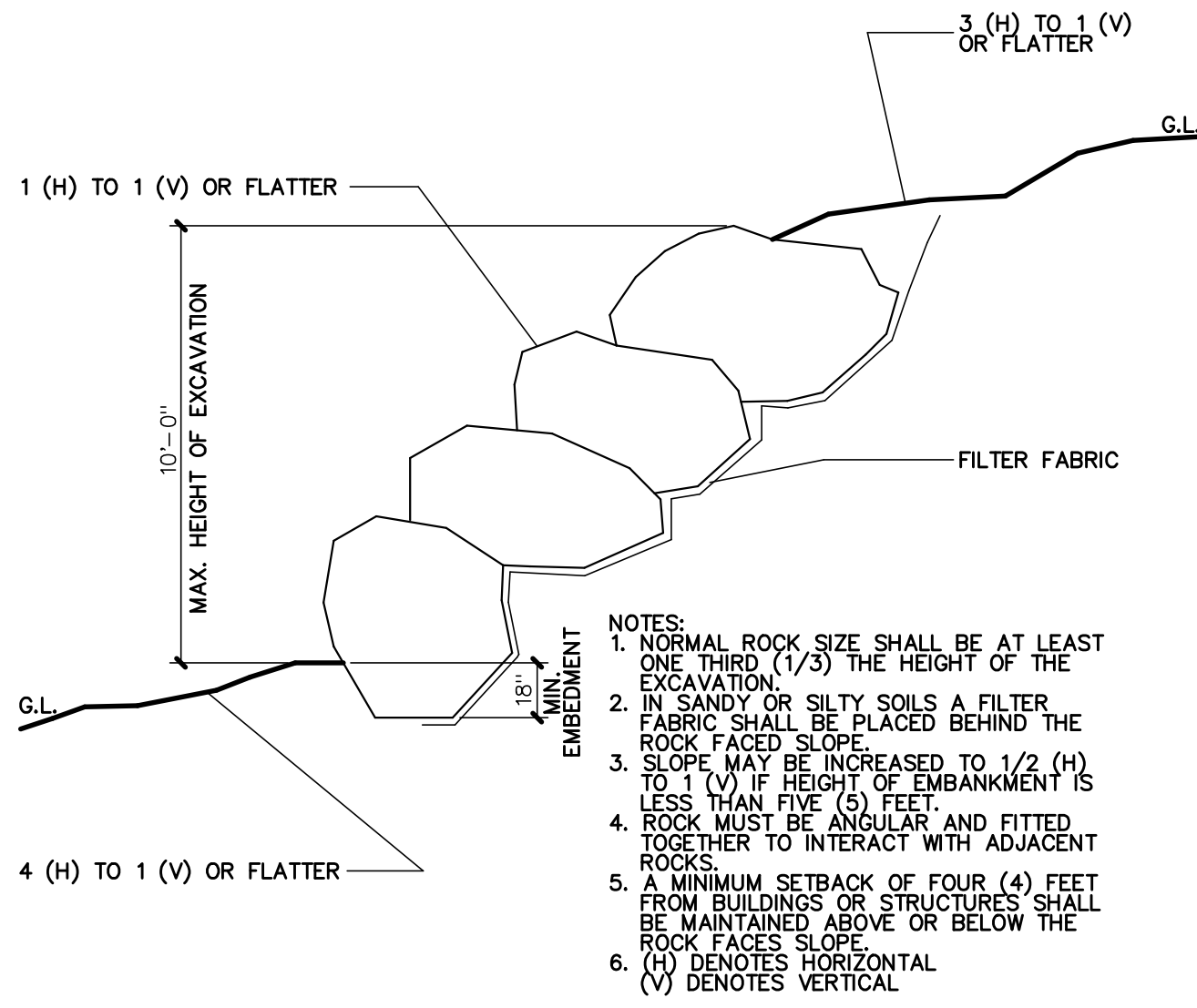
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ROOF LAYOUT, STAIR DETAIL, AND ELECTRICAL PLAN
DATE: 12/18/2019
JOB NO.: 19092
DRAWN: CWH/TJH
TYPE: ORIGINAL DRAWING
PLAN NO.: 1-1-1232/5-2-1032 2 STORY

SHEET
S3.1

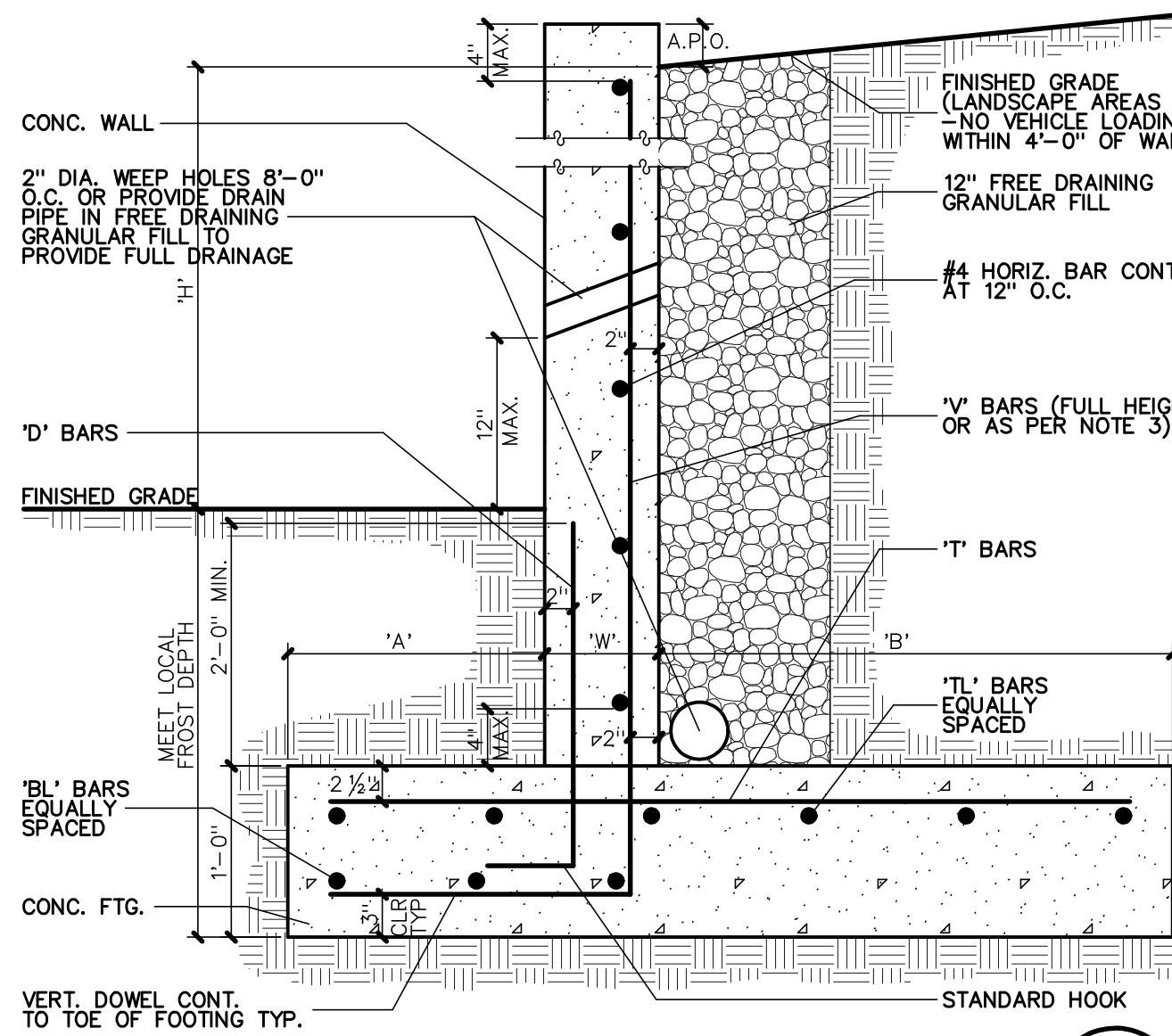


ROCK RETAINING WALL UP TO 10'-0" HEIGHT
NO SCALE

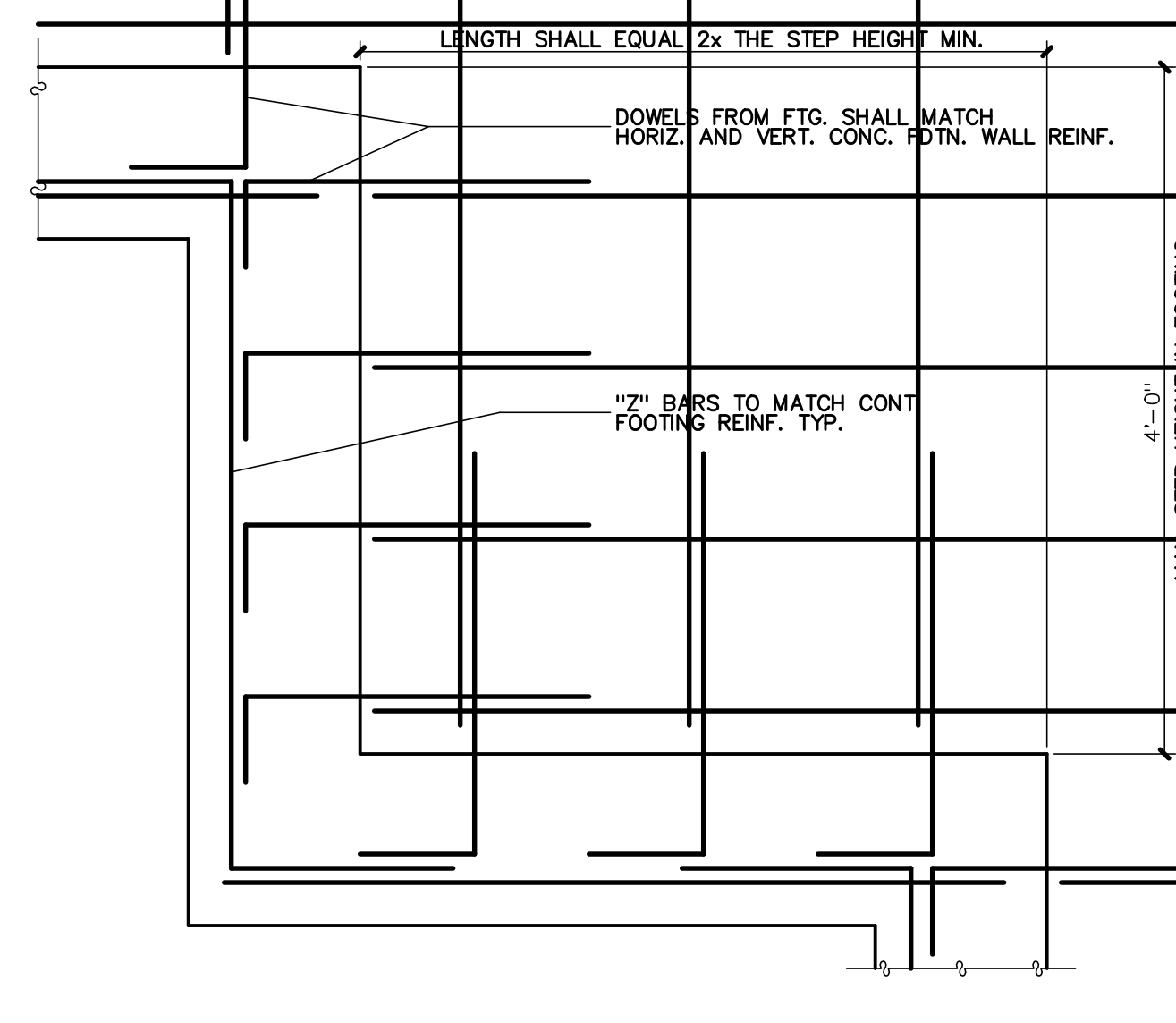
CONCRETE RETAINING WALL SCHEDULE^{1,4}

MARK	'W'	'H' ²	'A'		'B'		'V' BARS ³		'D' BARS		'T' BARS		'TL' BARS		'BL' BARS	
			SIZE	SPACE	SIZE	SPACE	SIZE	SPACE	SIZE	SPACE	NO.	NO.	NO.	NO.		
CRW2.0	8" MIN.	TO 2'-0"	8"	8"	#4	18"	N/A	N/A	#4	18"	#4	3	#4	2		
CRW4.0	8" MIN.	TO 4'-0"	1'-0"	1'-8"	#4	12"	N/A	N/A	#4	12"	#4	4	#4	2		
CRW6.5	8" MIN.	TO 6'-6"	1'-0"	3'-0"	#5	12"	N/A	N/A	#4	12"	#4	5	#4	2		
CRW8.0	8" MIN.	TO 8'-0"	1'-3"	3'-6"	#5	10"	#4	24"	#4	10"	#4	6	#4	3		
CRW9.5	8" MIN.	TO 9'-6"	1'-6"	4'-6"	#6	10"	#4	24"	#4	8"	#4	7	#4	3		

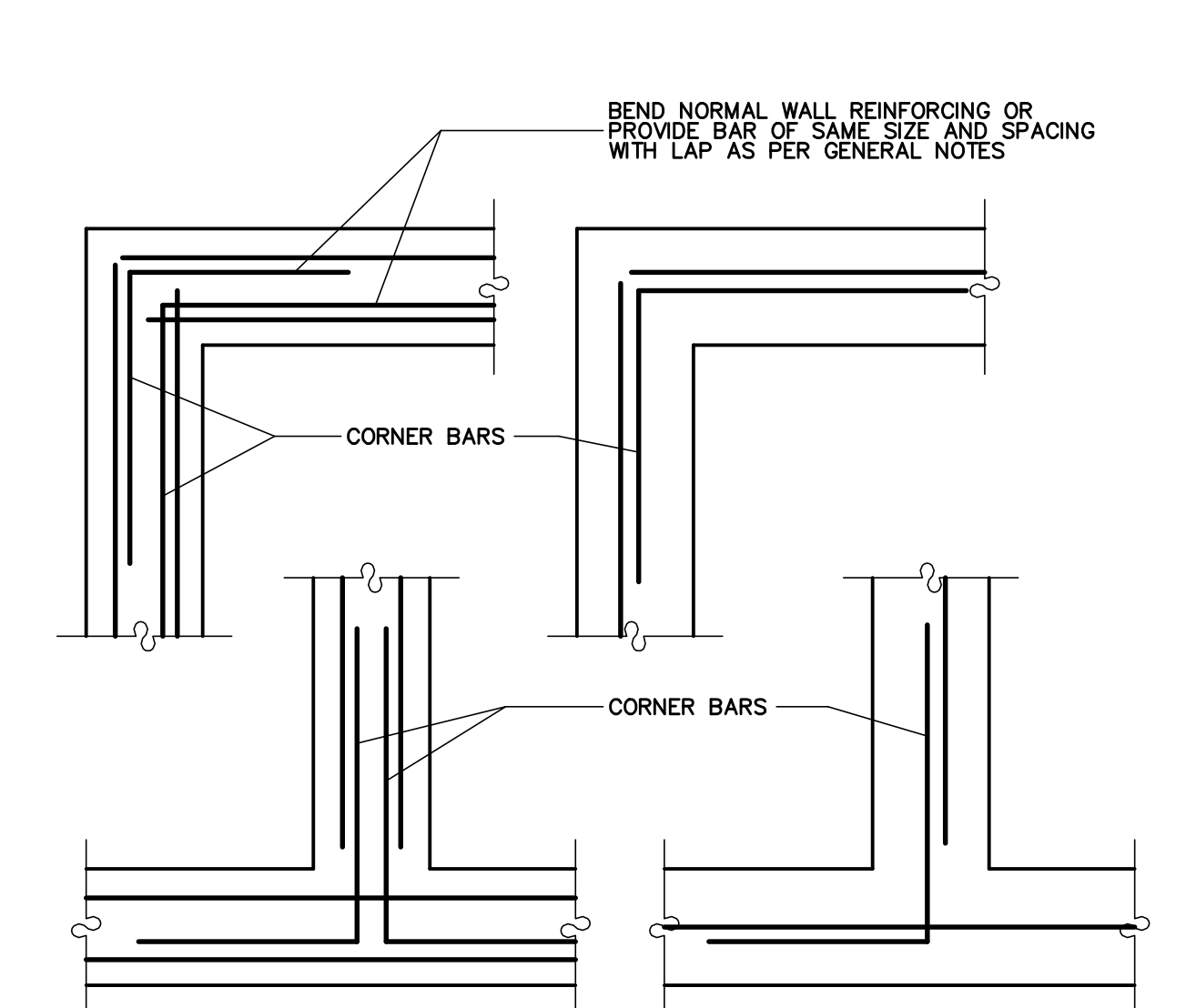
CONC. RETAINING WALL NOTES:
 1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
 2. WALL HEIGHT MAY BE INCREASED AS NEEDED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS AS LONG AS THE UNBALANCED FILL HEIGHT (H'-HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED THAT SHOWN. ADD ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED THAT SHOWN.
 3. 'V' BARS SHALL NOT BE SPLICED BELOW MID-HEIGHT OF WALL.
 4. THIS SCHEDULE IS FOR RETAINING LANDSCAPE AREAS ONLY. DO NOT USE WHERE VEHICLE LOADING WILL BE WITHIN FOUR FEET OF TOP OF WALL.



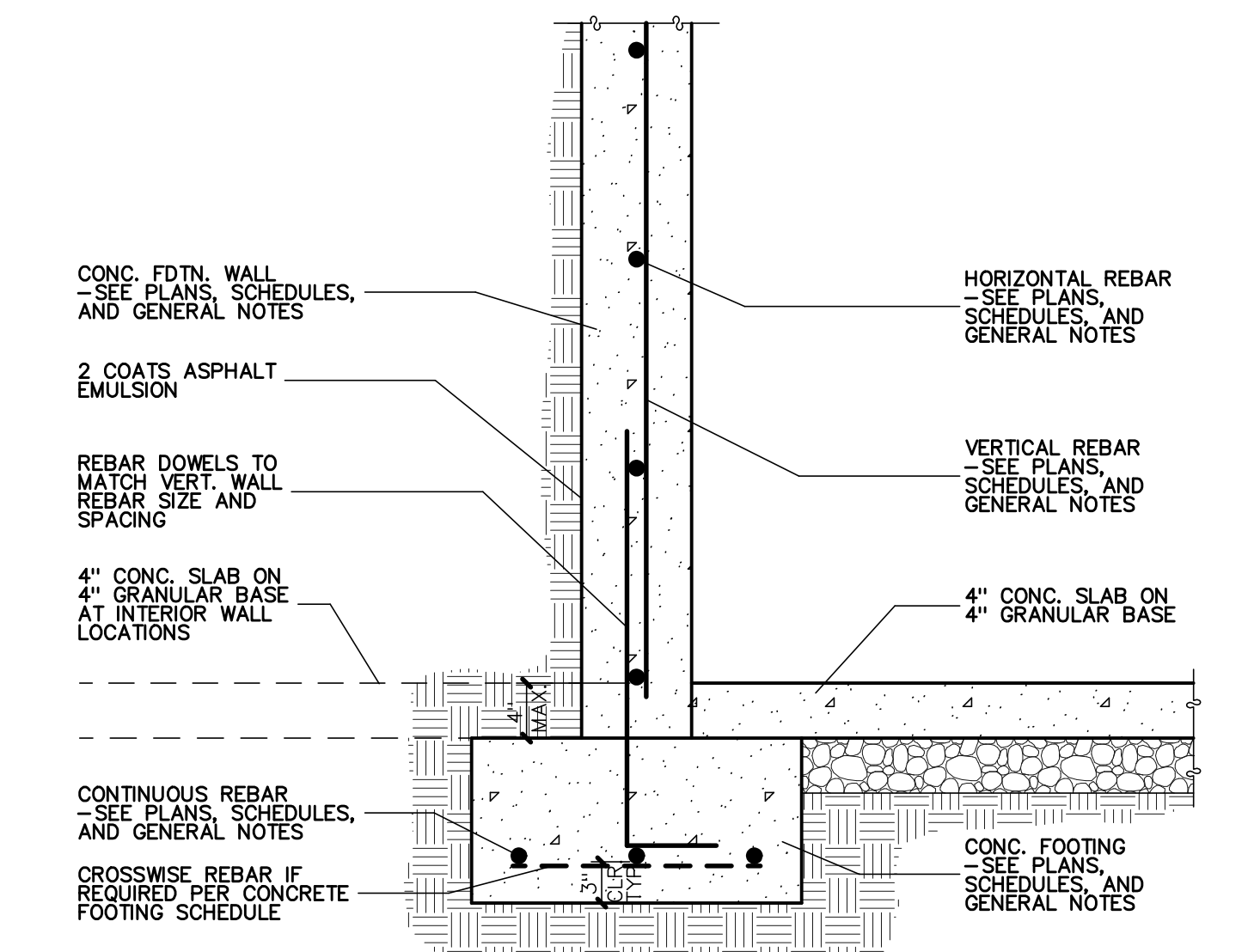
CONCRETE RETAINING WALL
NO SCALE



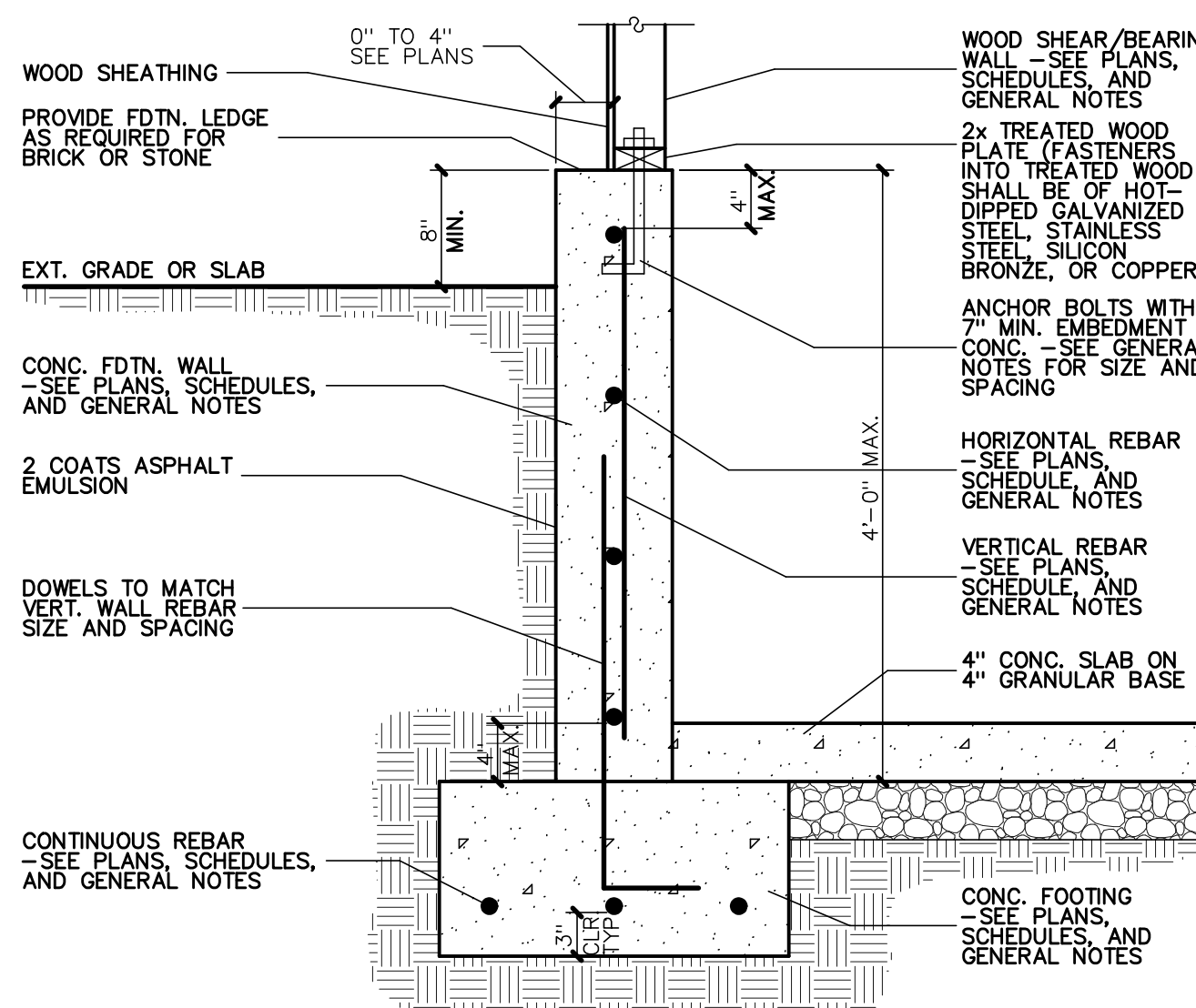
STEPPED FOOTING DETAIL
NO SCALE



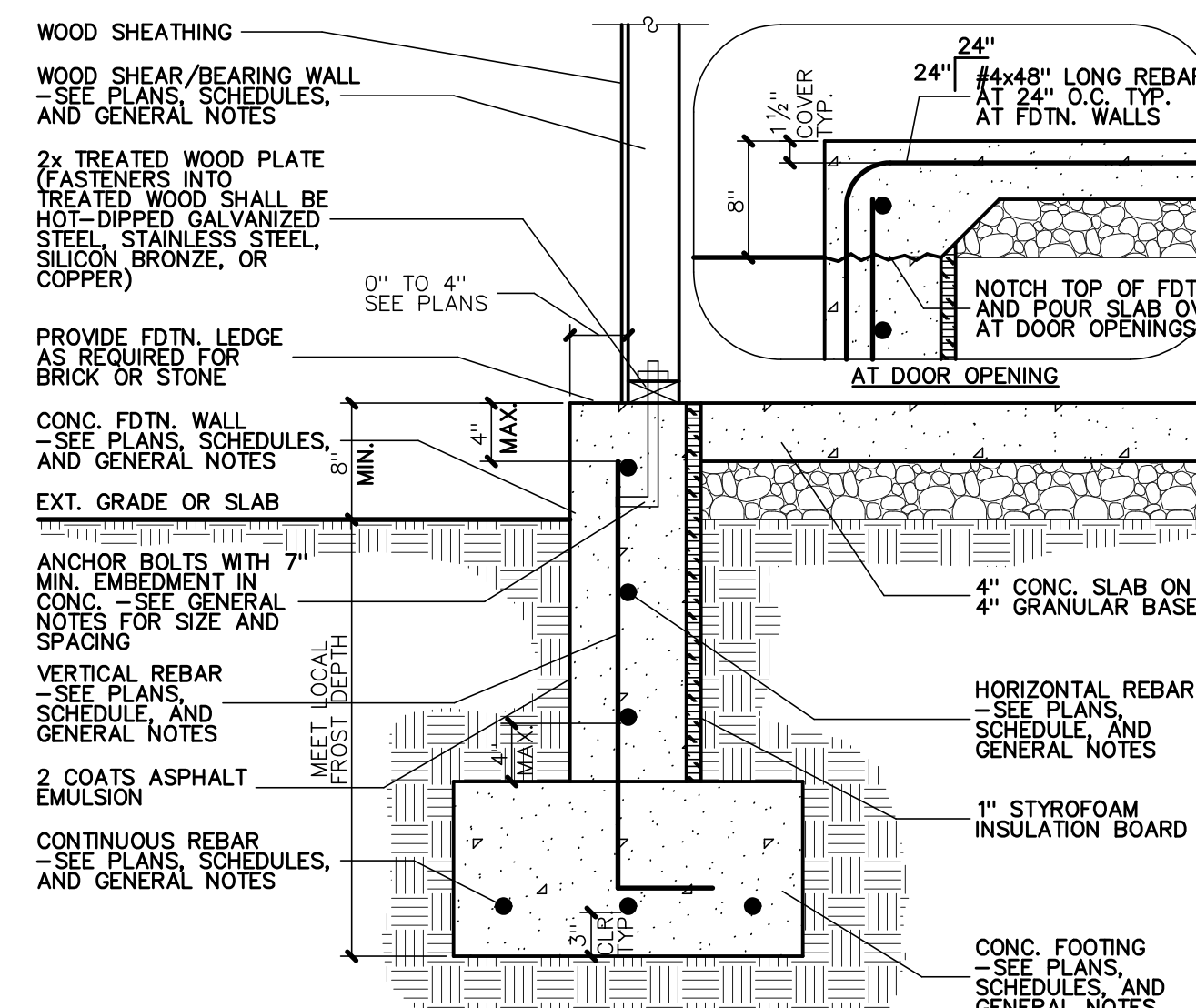
CONC. FOUNDATION WALL/FOOTING CORNERS AND INTERSECTION
NO SCALE



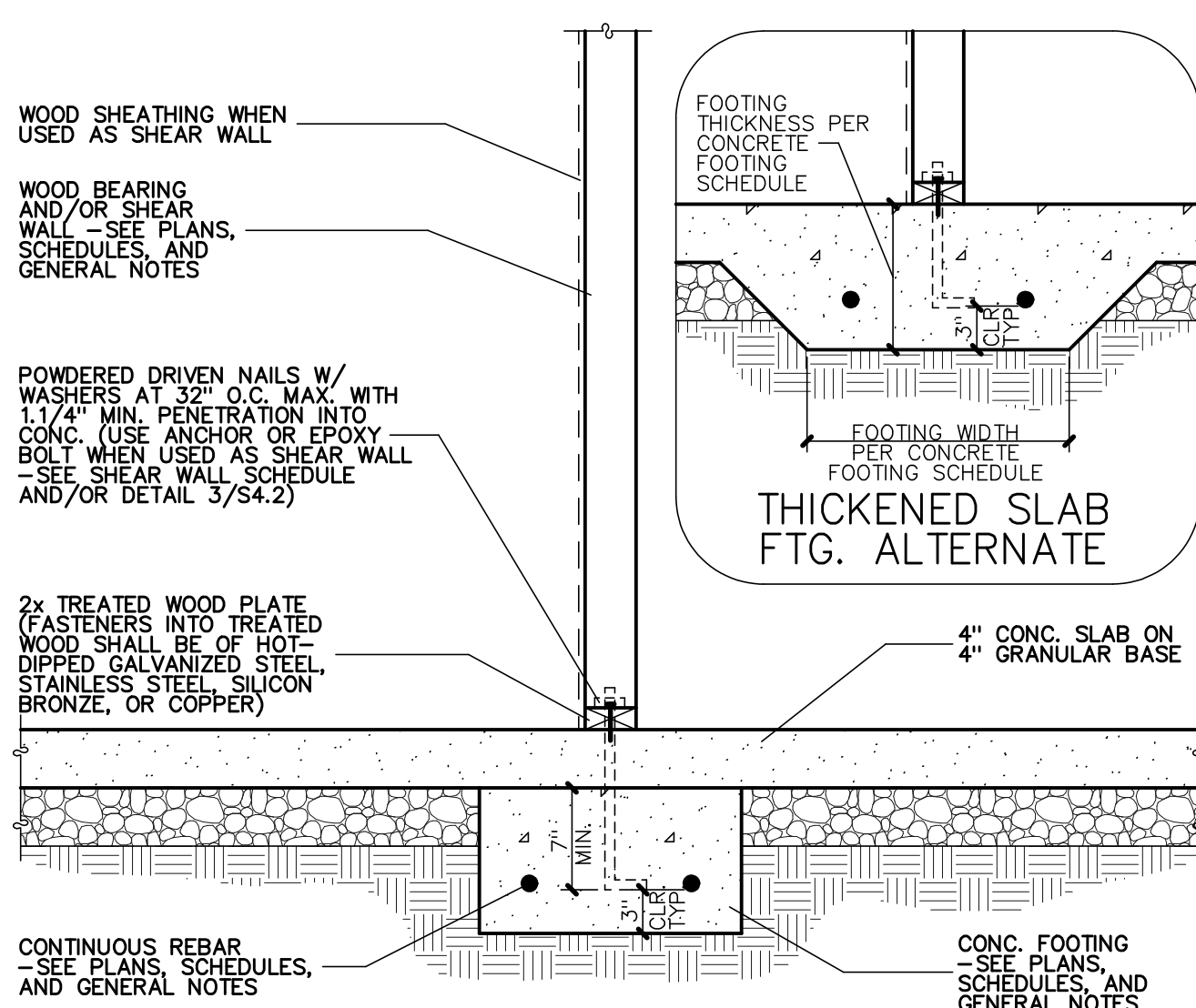
FOUNDATION WALL ON FOOTING
NO SCALE



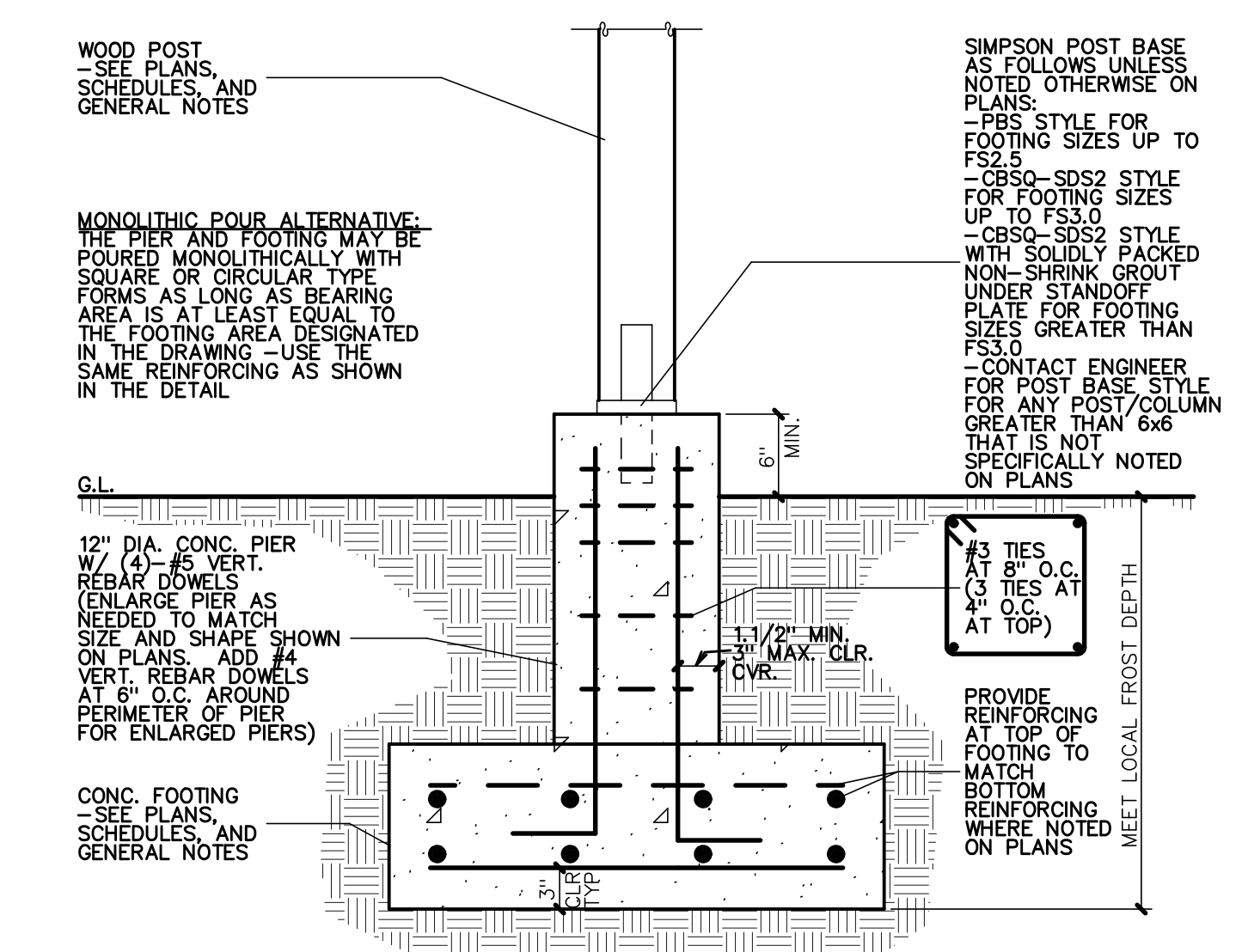
4'-0" FOUNDATION WALL ON FOOTING
NO SCALE



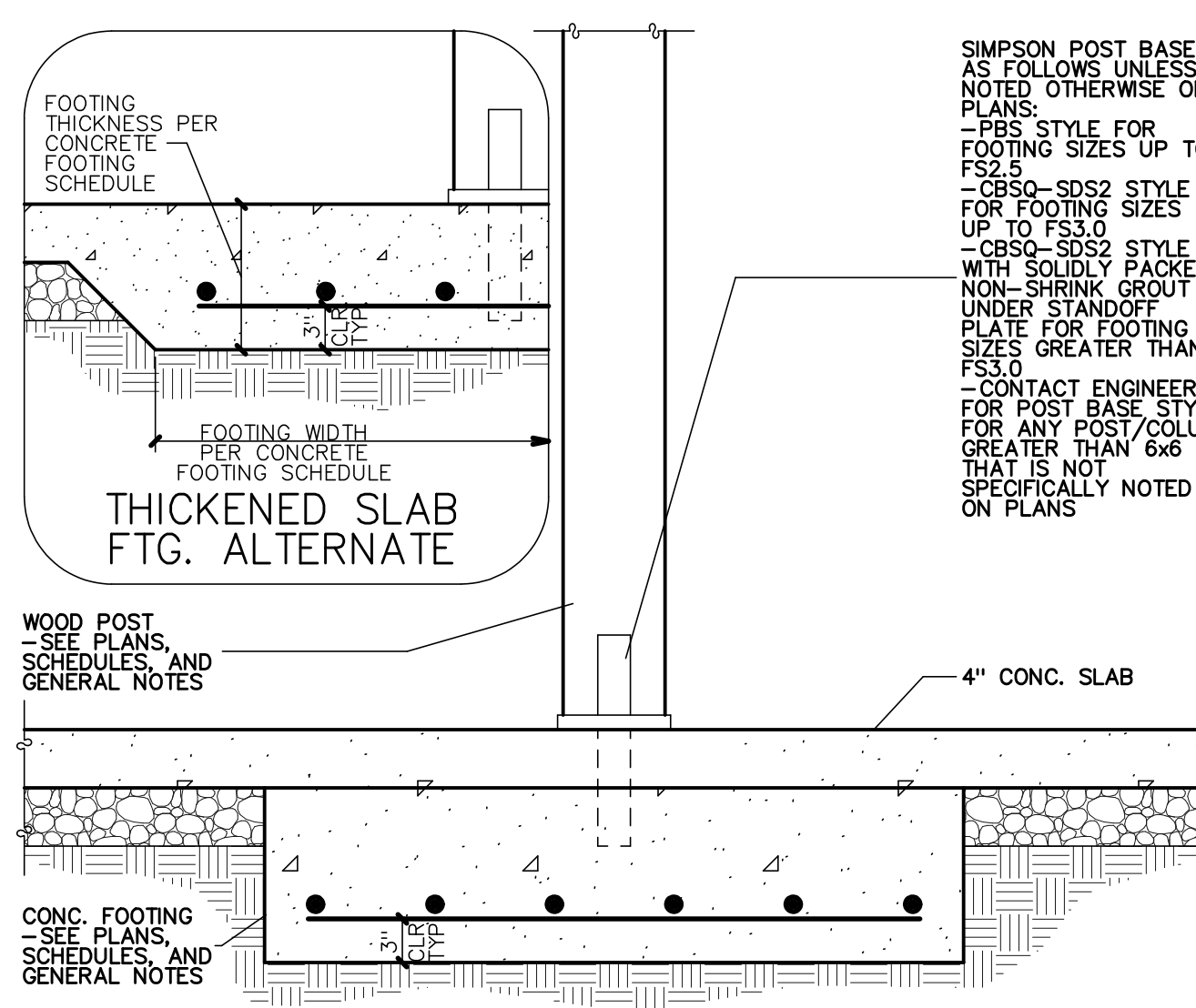
FOUNDATION WALL ON FOOTING
NO SCALE



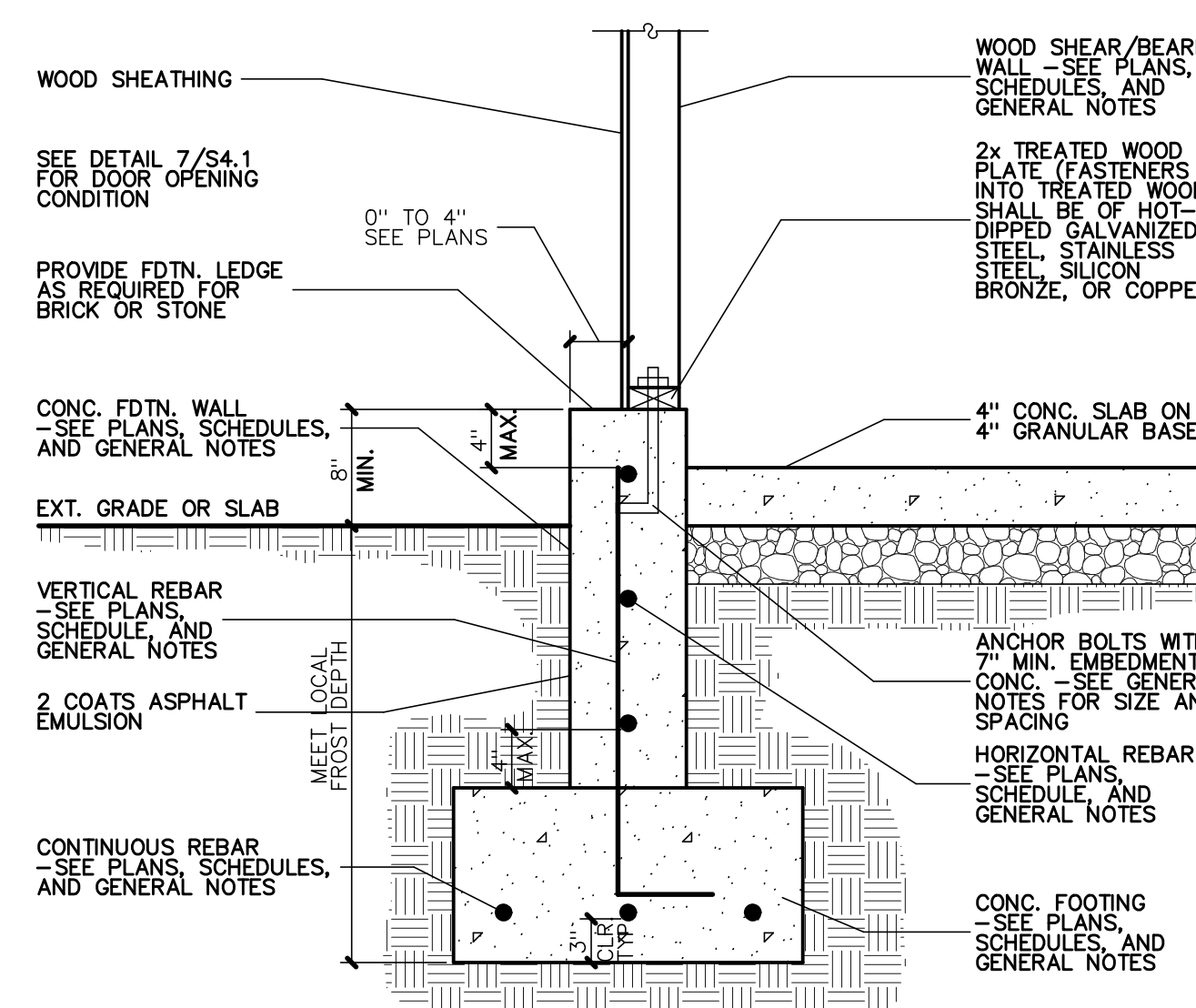
INTERIOR BEARING AND/OR SHEAR WALL ON CONC. FOOTING
NO SCALE



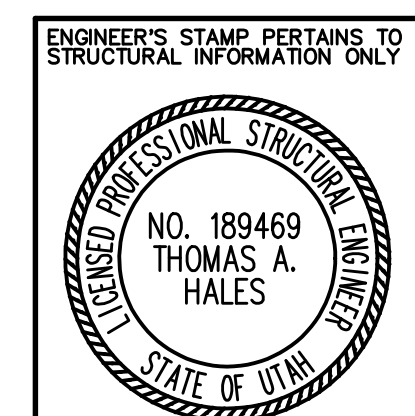
EXTERIOR WOOD POST ON CONC. PIER/FOOTING
NO SCALE



INTERIOR WOOD POST ON CONC. FOOTING
NO SCALE



FOUNDATION WALL ON FOOTING
NO SCALE



NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB --- SEE PLAN SHEETS FOR REFERENCES TO DETAILS

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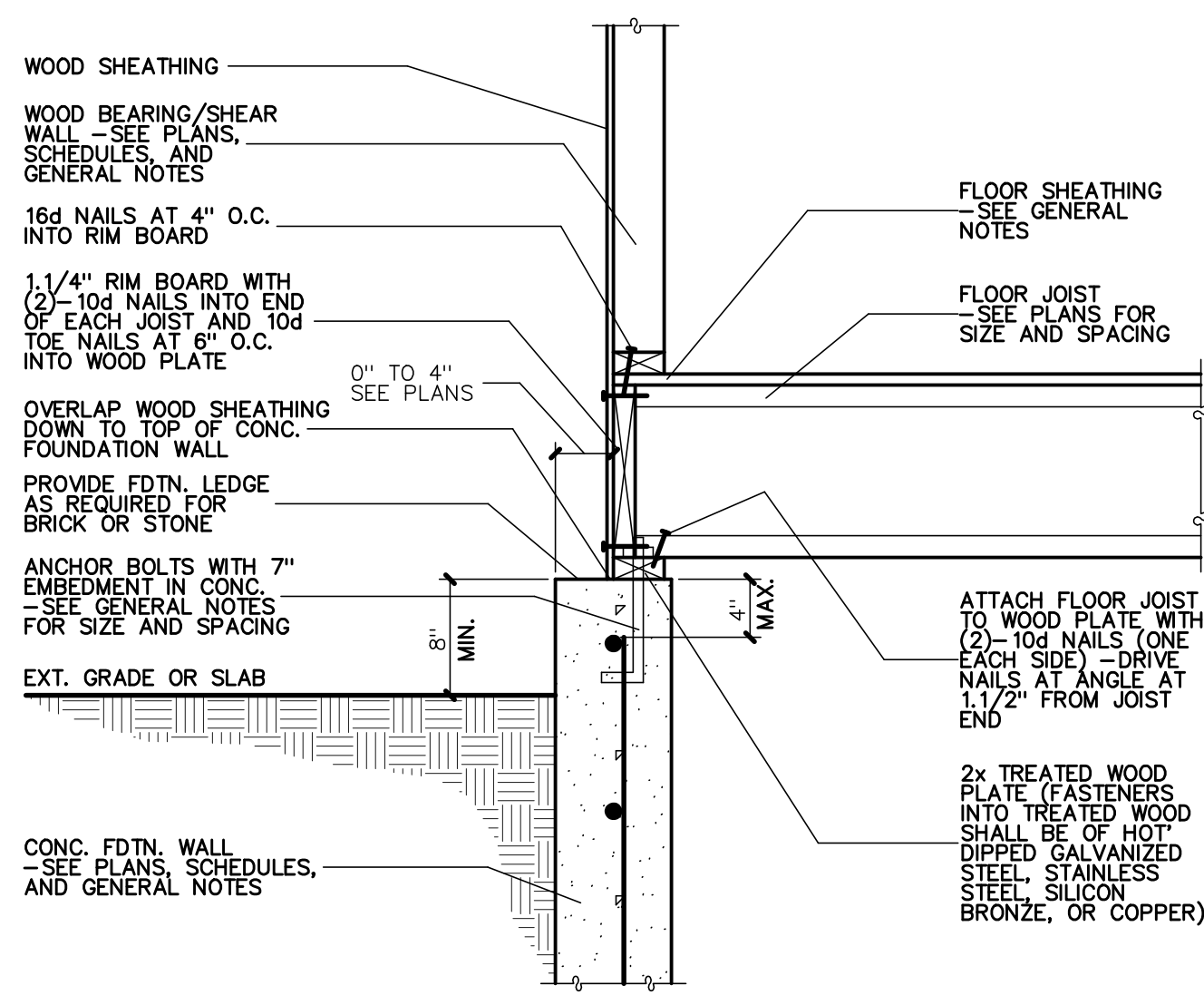
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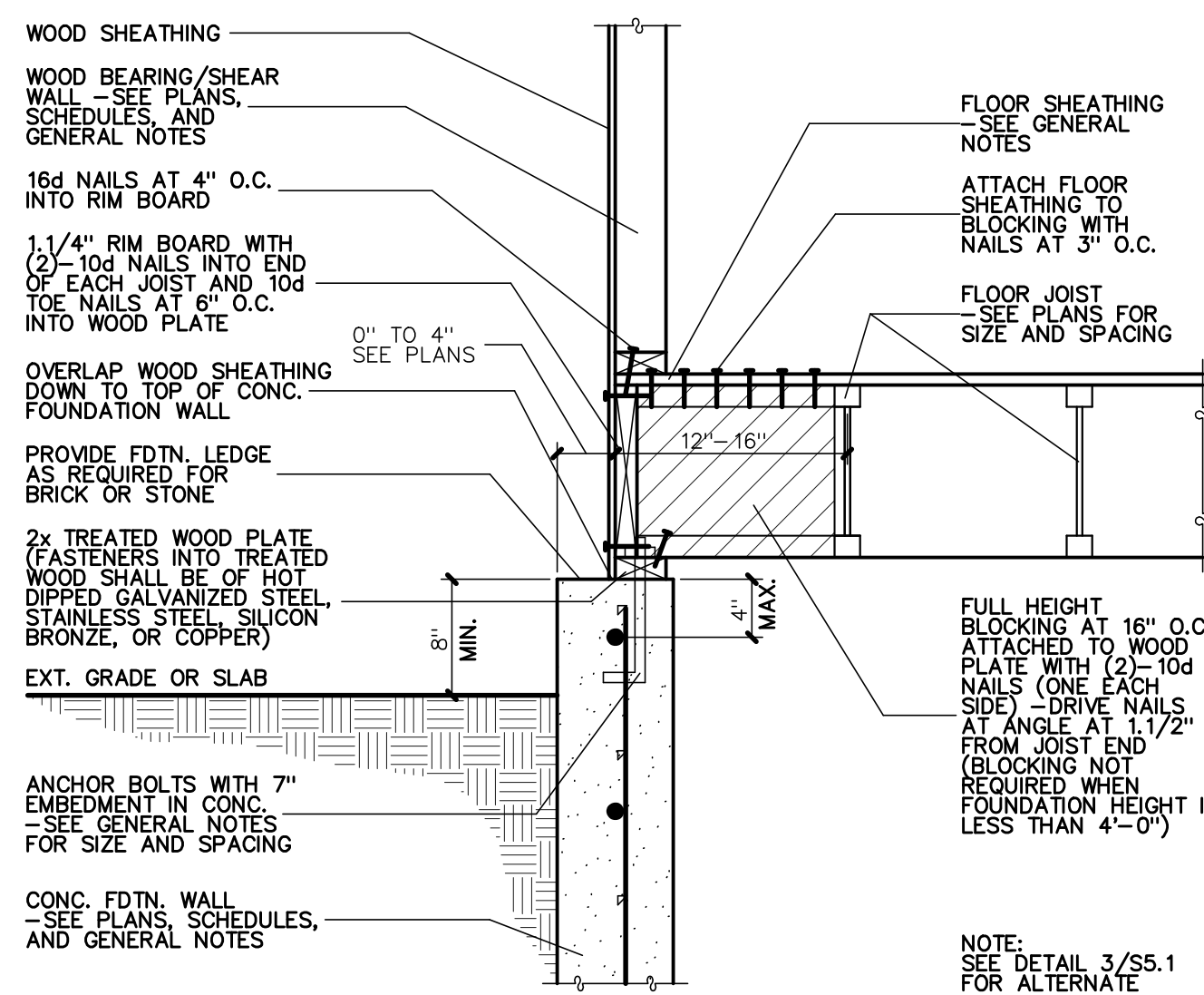


FOOTING AND FOUNDATION DETAILS
 DRAWN: CWH/JCH
 TYPE: ORIGINAL DRAWING
 DATE: 12/18/2019
 JOB NO.: 19092
 PLAN NO.: 1-1-1232/3-2-1032 2 STORY

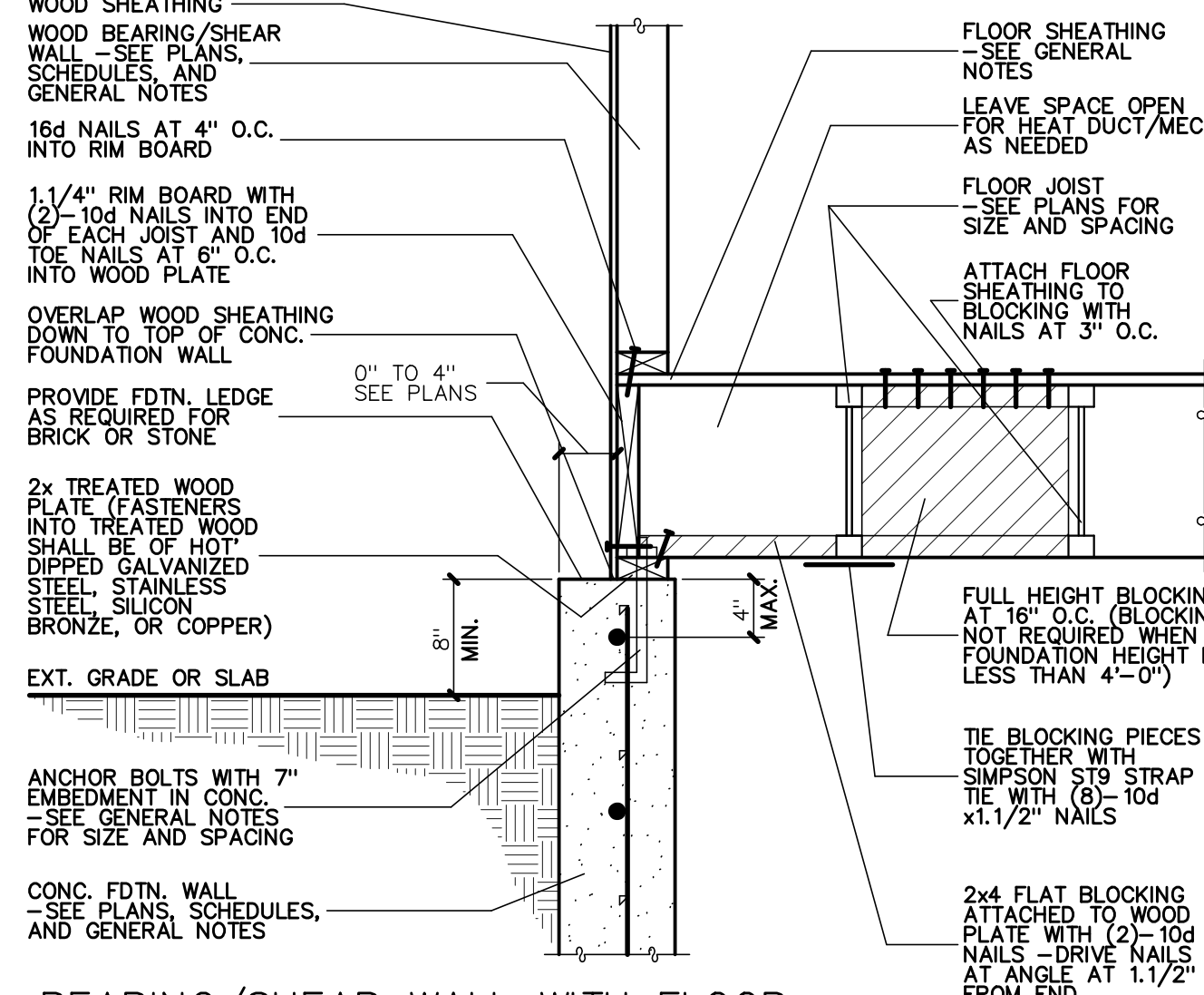
SHEET
S4.1



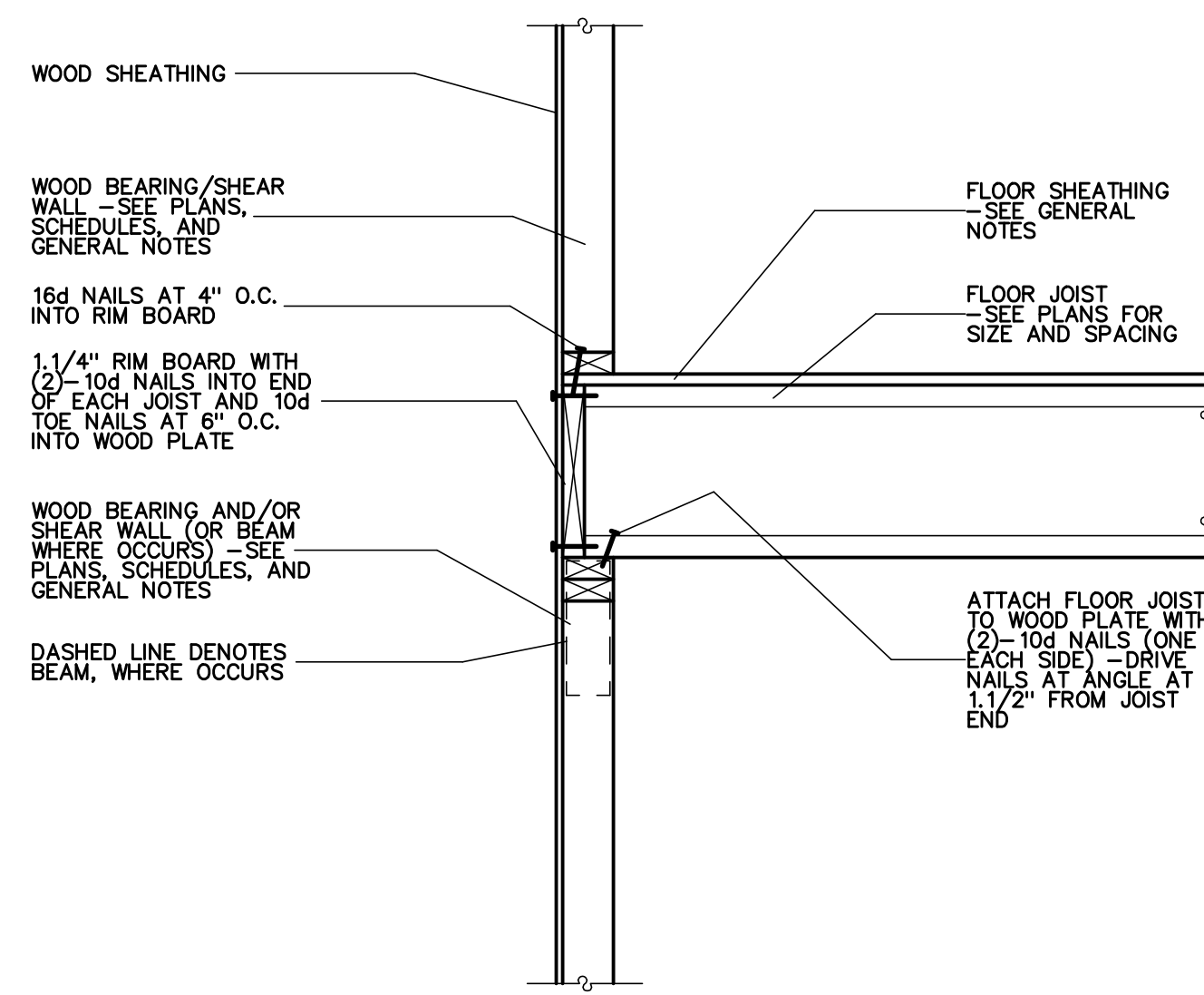
BEARING/SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO CONC. FDTN. WALL
NO SCALE



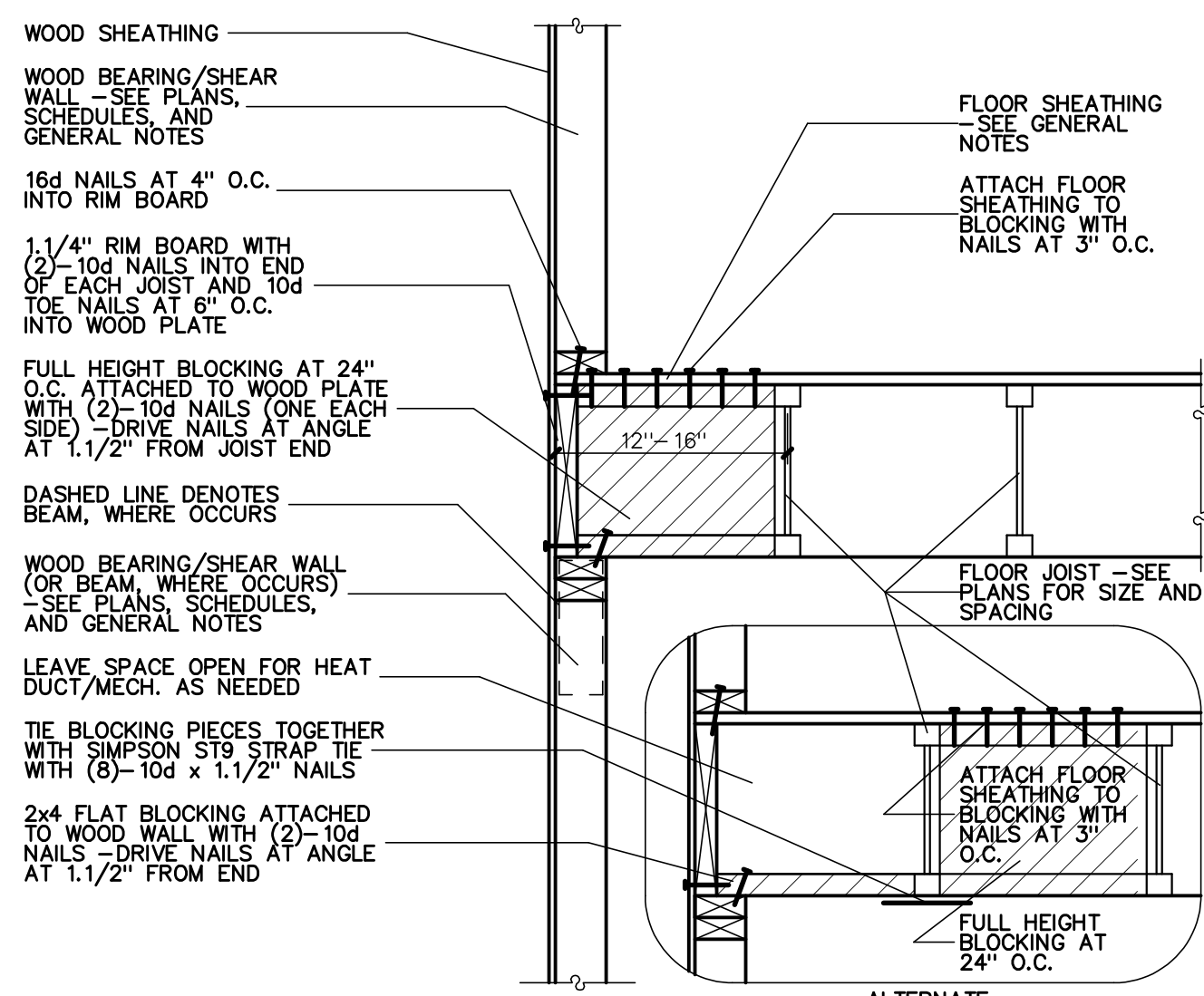
BEARING/SHEAR WALL WITH FLOOR JOISTS JOISTS PARALLEL TO CONC. FDTN. WALL
NO SCALE



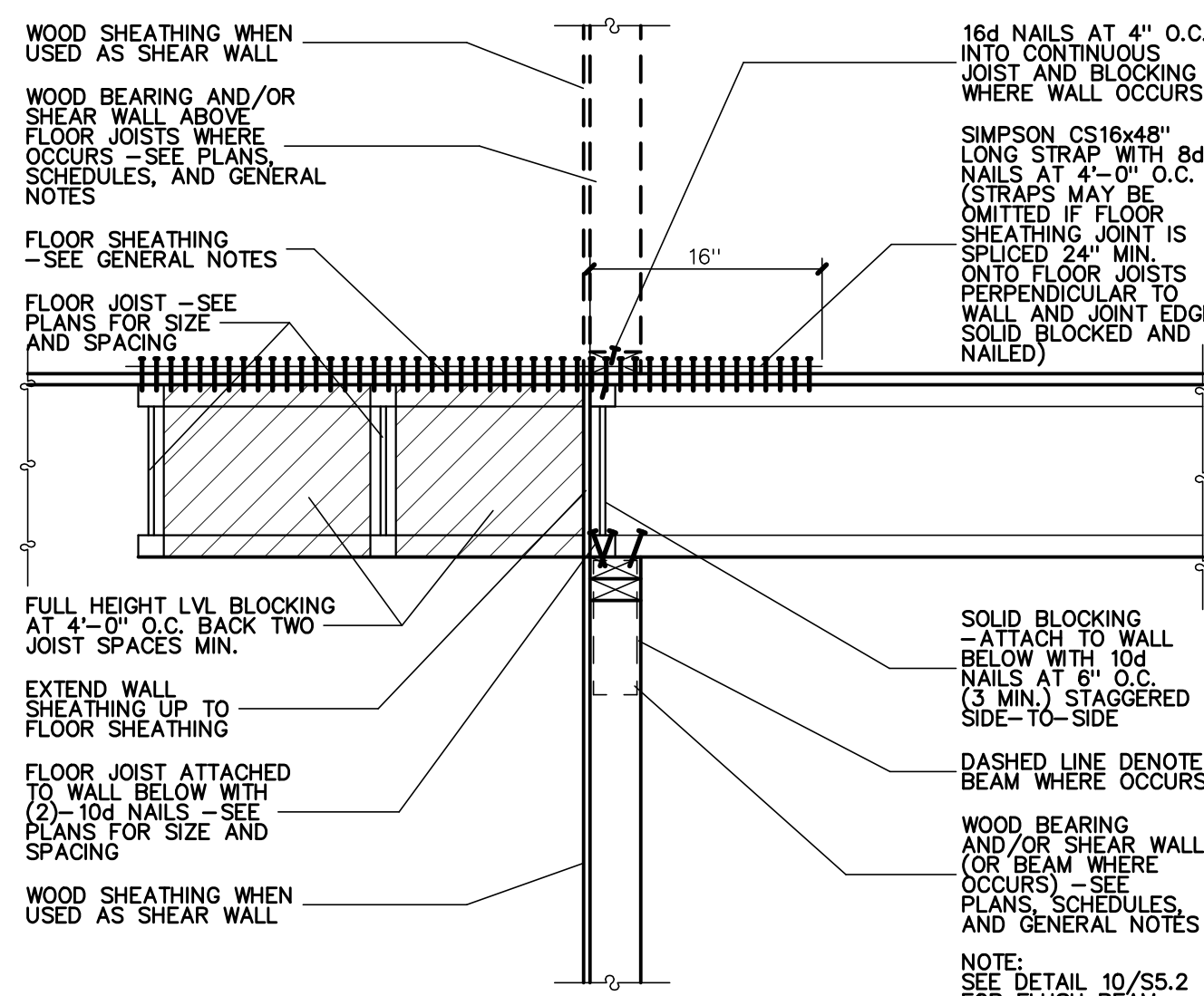
BEARING/SHEAR WALL WITH FLOOR JOISTS PARALLEL TO CONCRETE FOUNDATION WALL (ALTERNATE)
NO SCALE



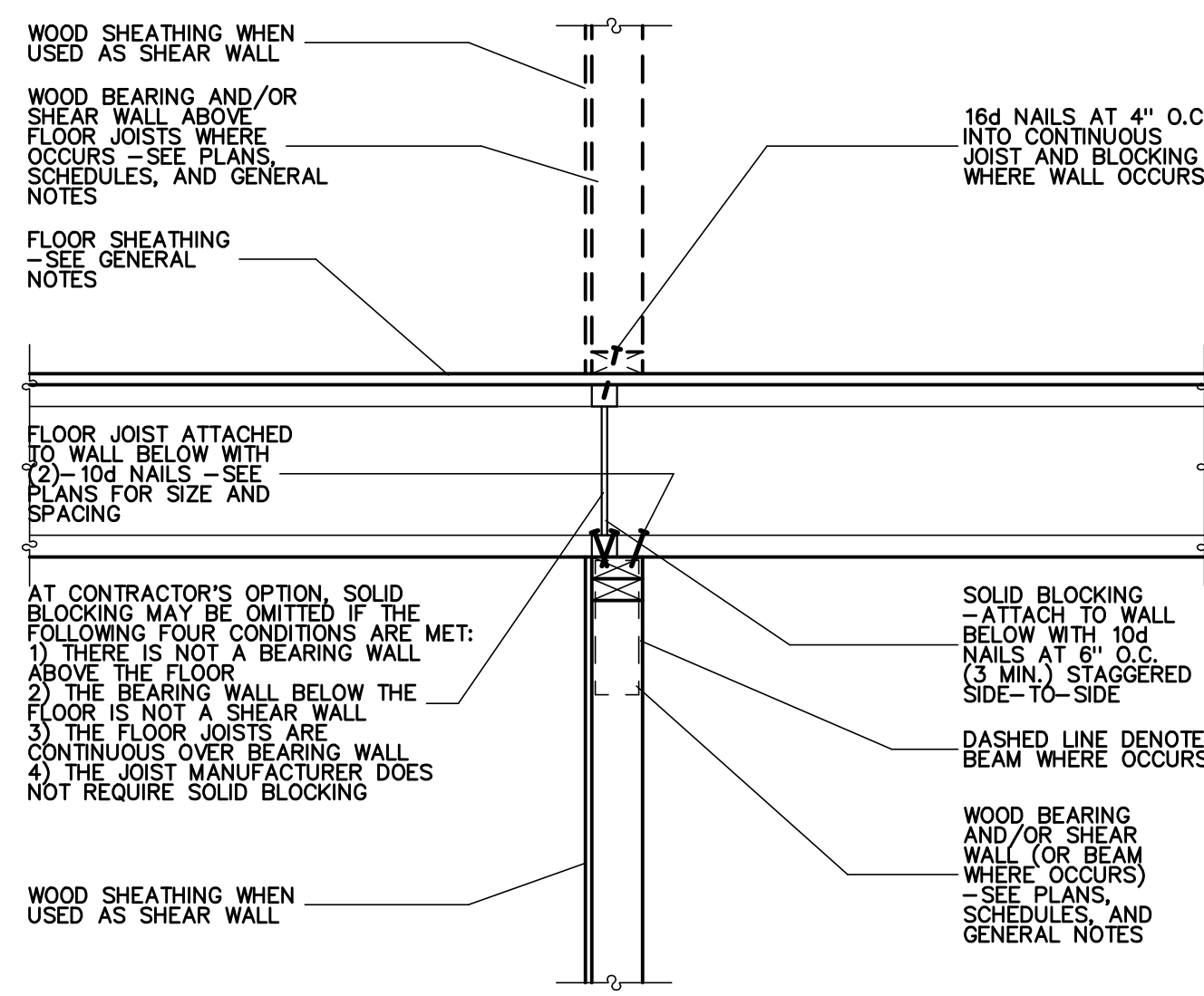
BEARING/SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO WOOD WALL
NO SCALE



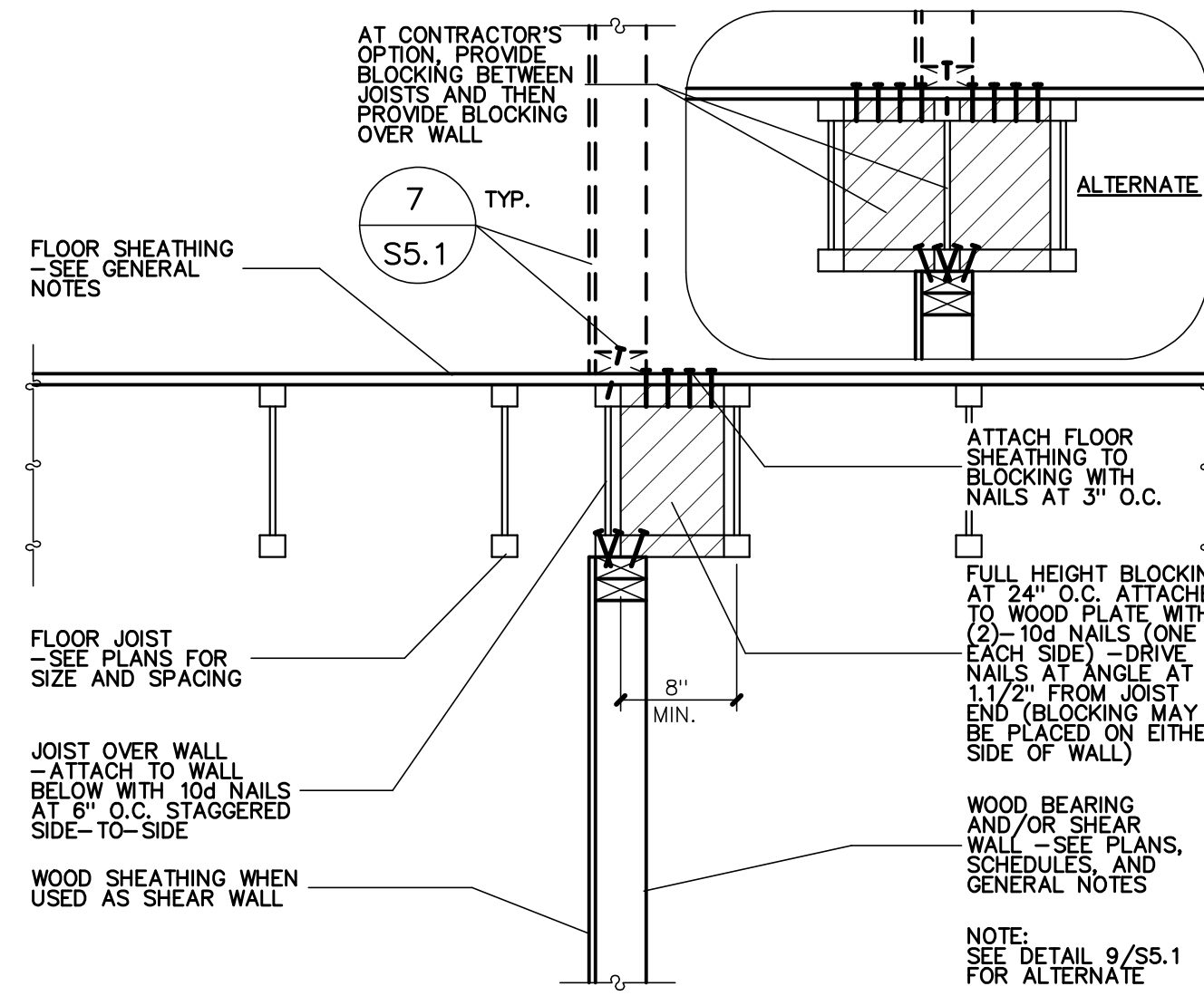
BEARING/SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WOOD WALL
NO SCALE



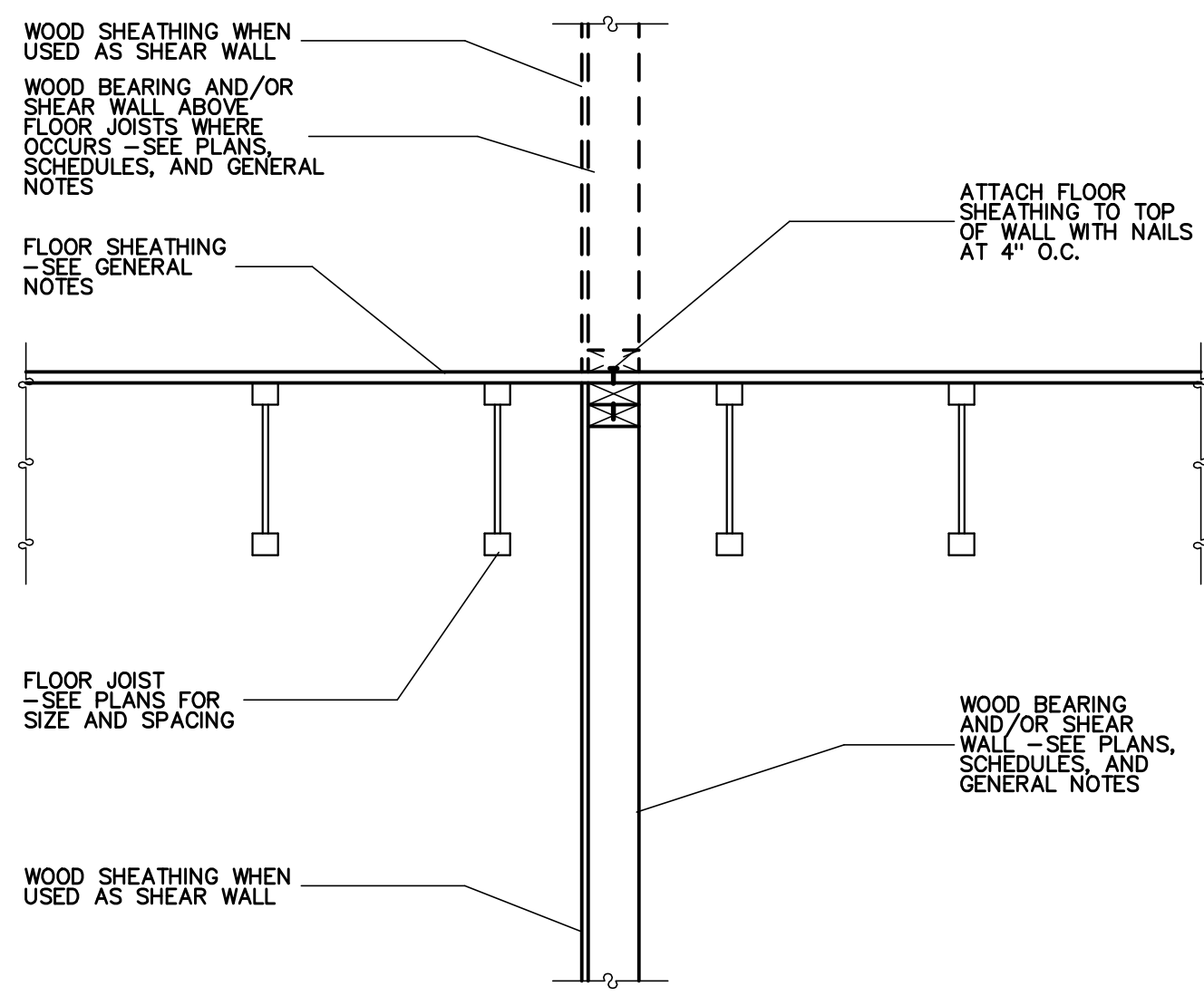
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR AND PARALLEL TO WALL
NO SCALE



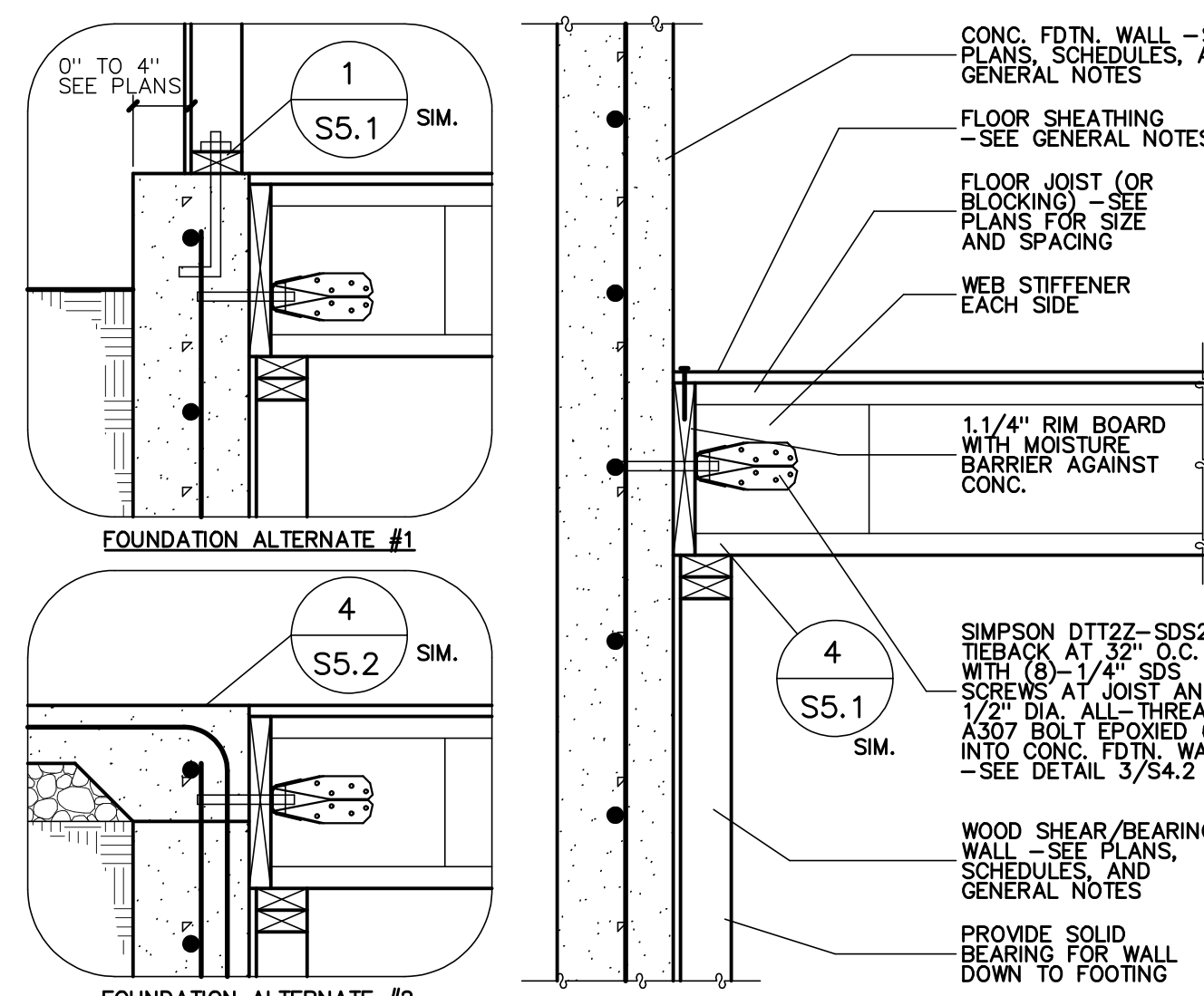
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PERPENDICULAR TO WALL
NO SCALE



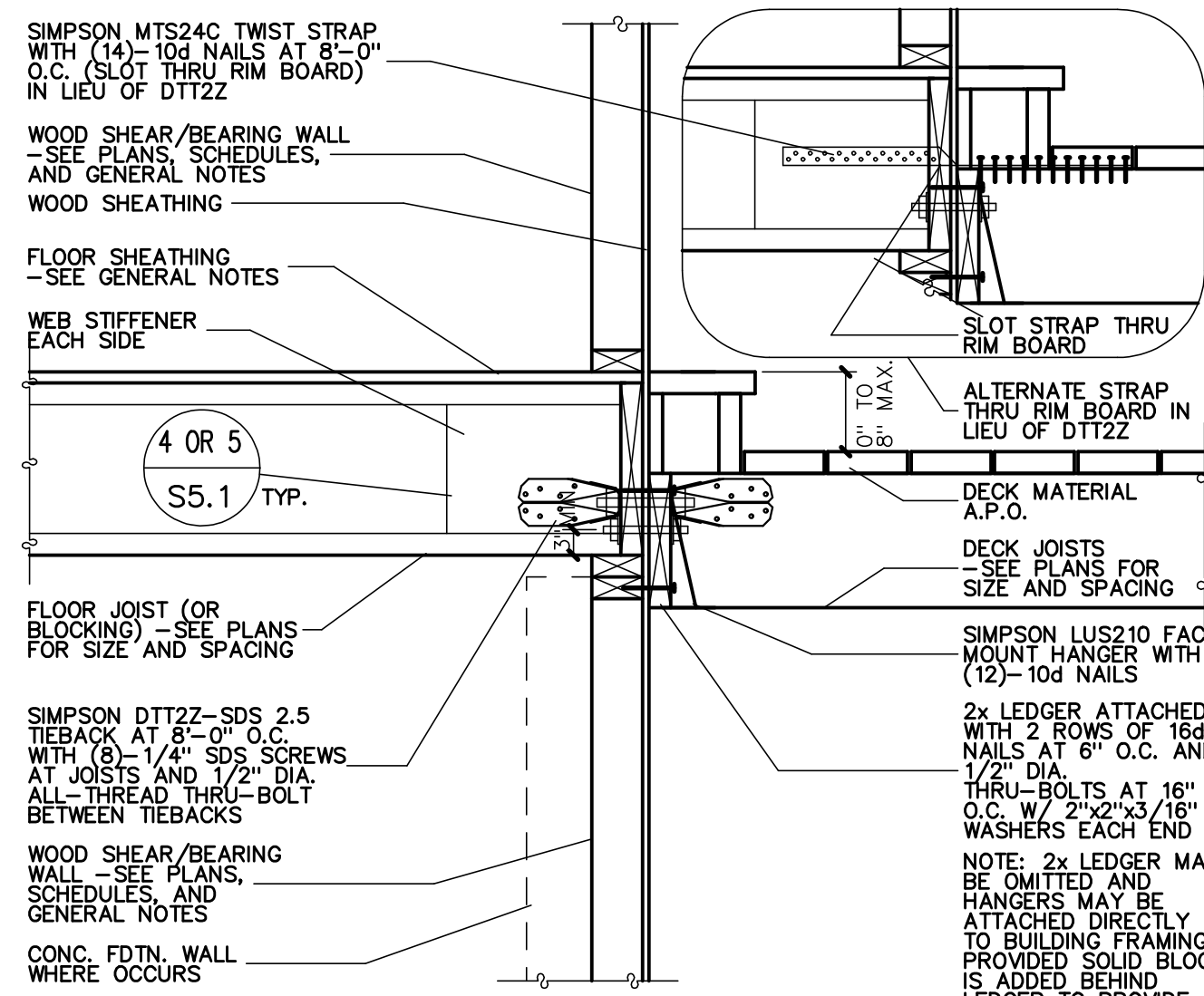
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WALL
NO SCALE



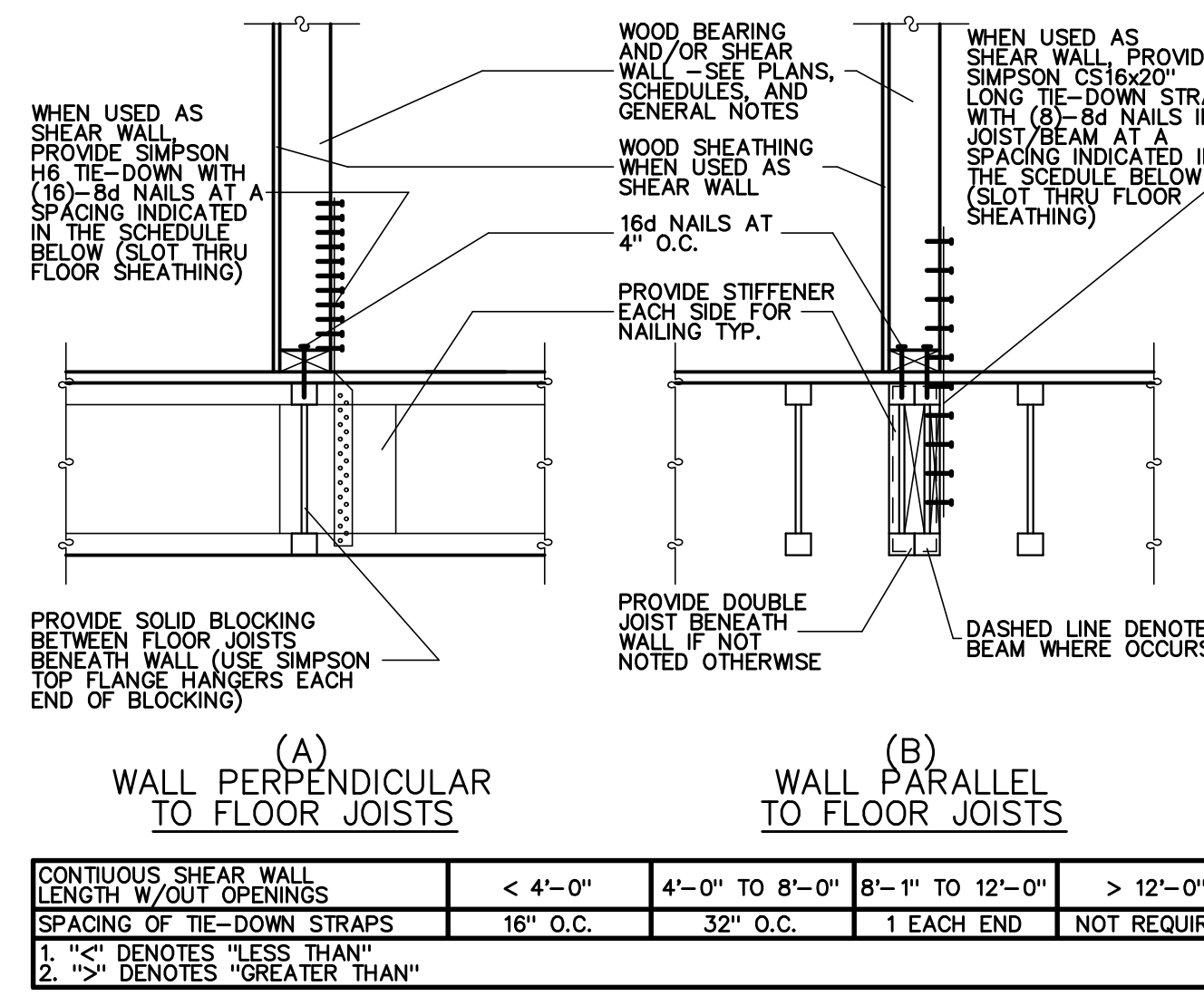
BEARING AND/OR SHEAR WALL WITH FLOOR JOISTS PARALLEL TO WALL
NO SCALE



FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE



DECK FRAMING TIE-BACK AT EXTERIOR WALL
NO SCALE



BEARING AND/OR SHEAR WALL WITHOUT BEARING AND/OR SHEAR WALL DIRECTLY BELOW
NO SCALE

CONTINUOUS SHEAR WALL LENGTH W/OUT OPENINGS	< 4'-0"	4'-0" TO 8'-0"	8'-1" TO 12'-0"	> 12'-0"
SPACING OF TIE-DOWN STRAPS	16" O.C.	32" O.C.	1 EACH END	NOT REQUIRED

1. "C" DENOTES "LESS THAN"
2. "S" DENOTES "GREATER THAN"

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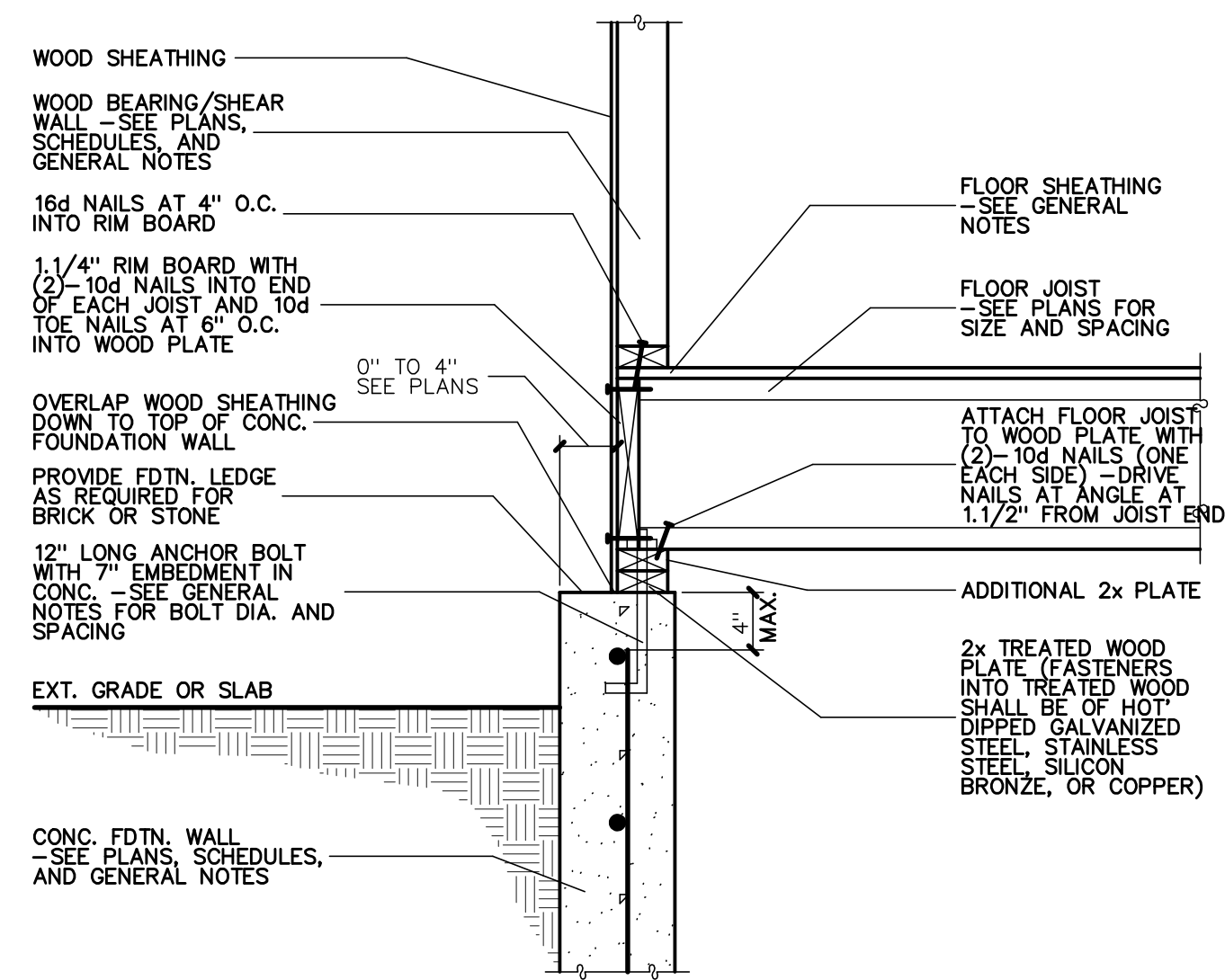
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FLOOR FRAMING DETAILS
DRAWN: CWH/JCH
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DATE: 12/18/2019
JOB NO.: 19092
PLAN NO.: 1-1-1232/3-2-1032-2 STORY

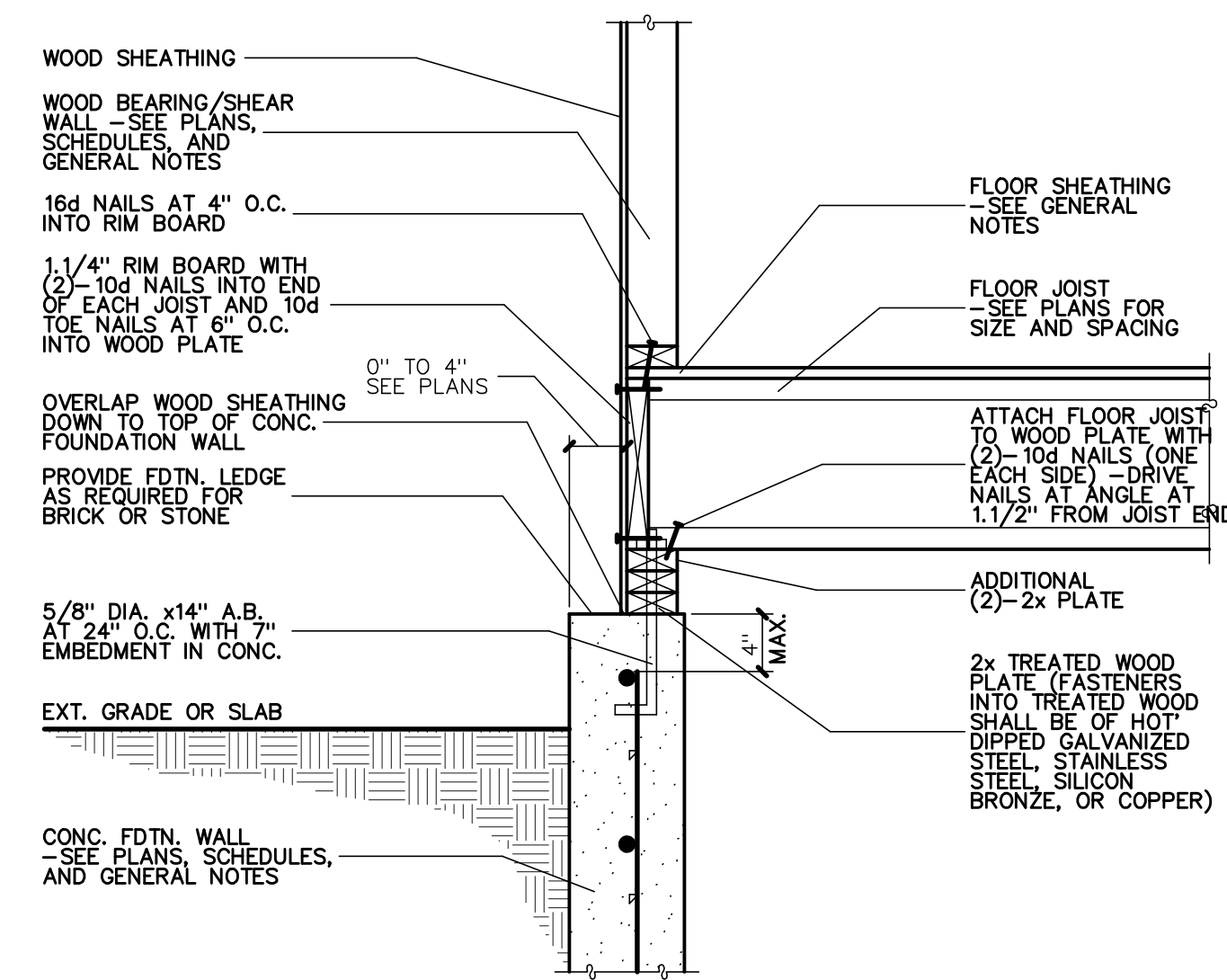
ENGINEER'S STAMP PERTAINS TO STRUCTURAL INFORMATION ONLY
NO. 189469
THOMAS A. HALES
STATE OF UTAH

SHEET: 5.1

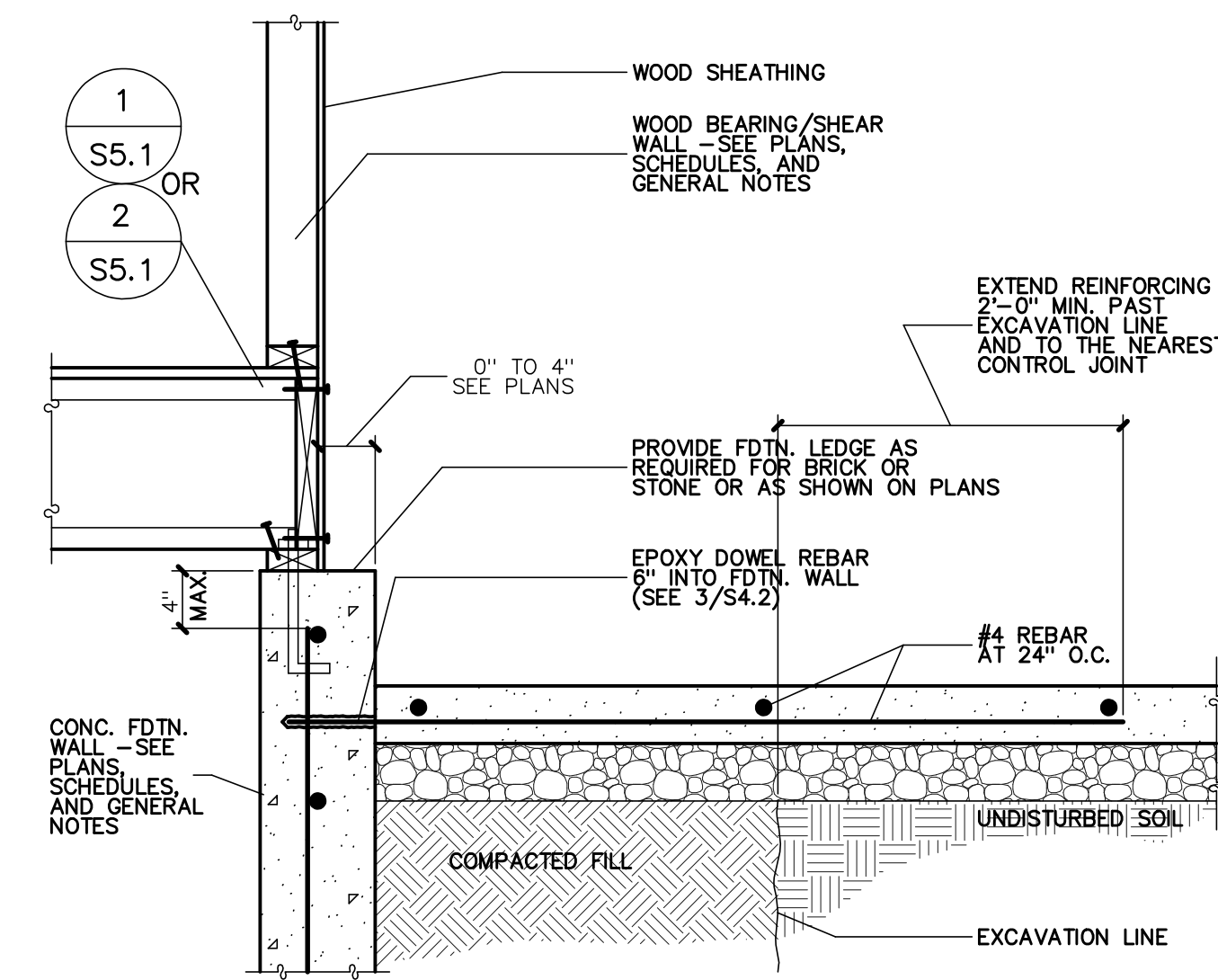
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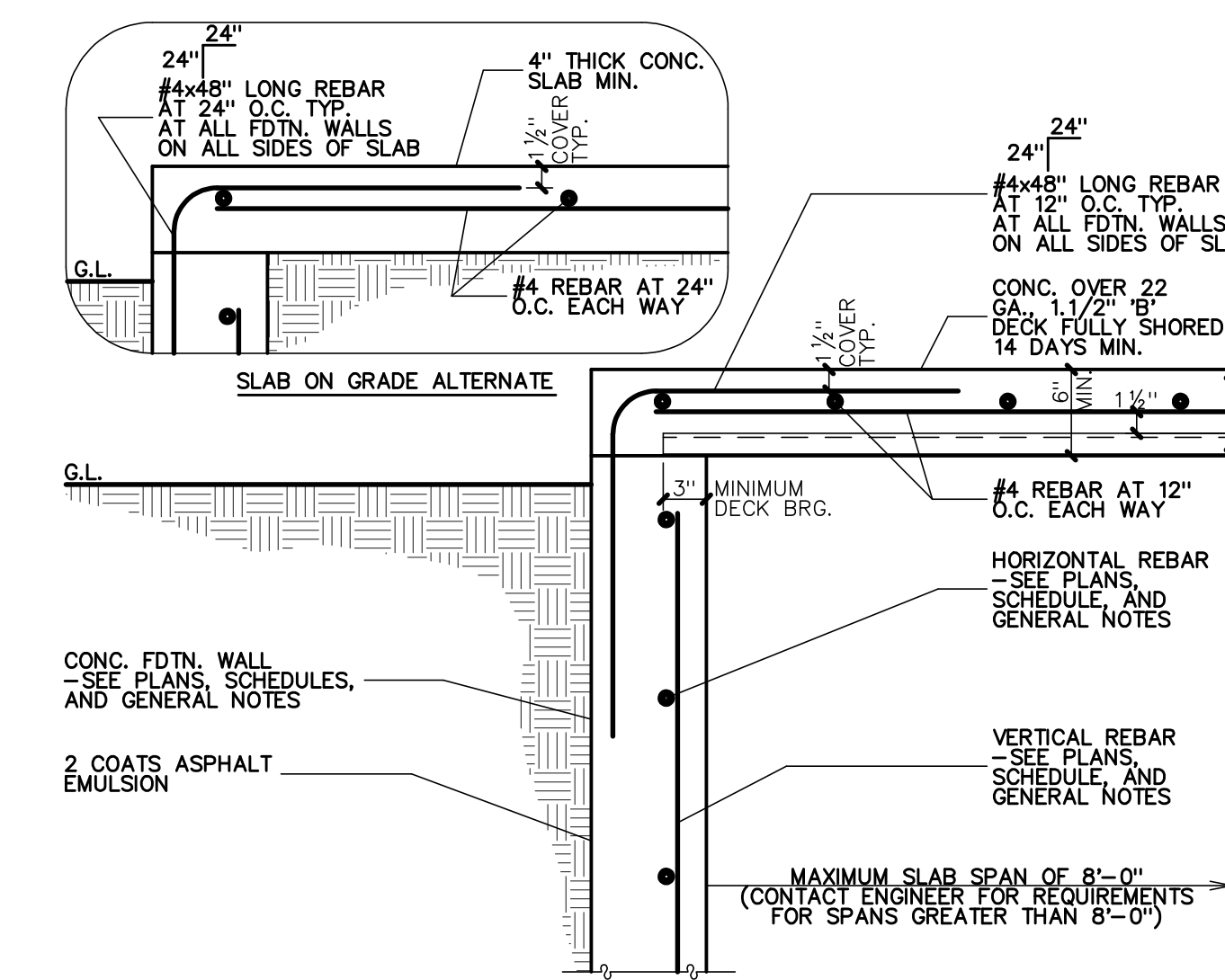
1
S5.2
FDN. WALL WITH DOUBLE PLATE OPTION
NO SCALE



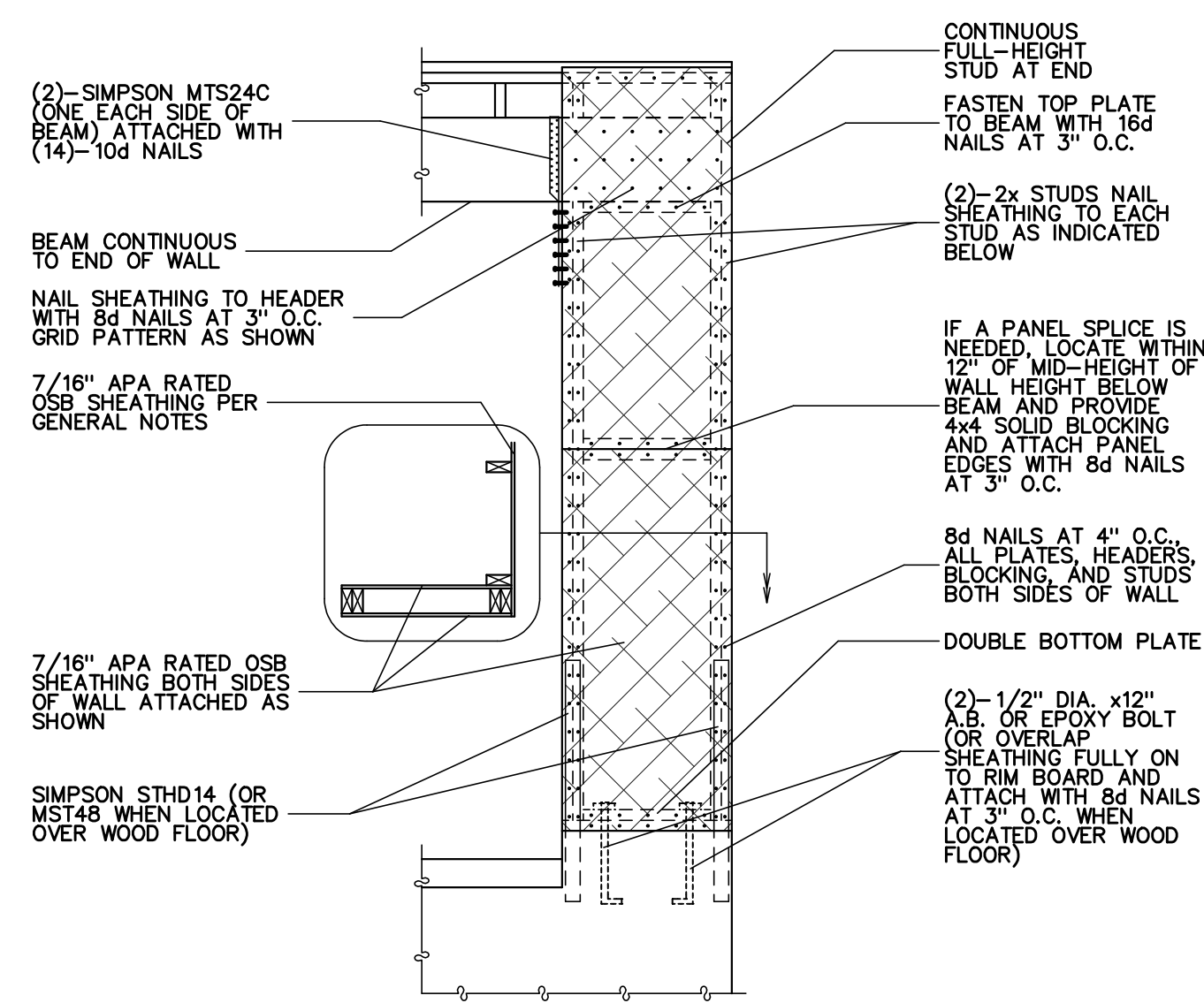
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S5.2
FDN. WALL WITH TRIPLE PLATE OPTION
NO SCALE



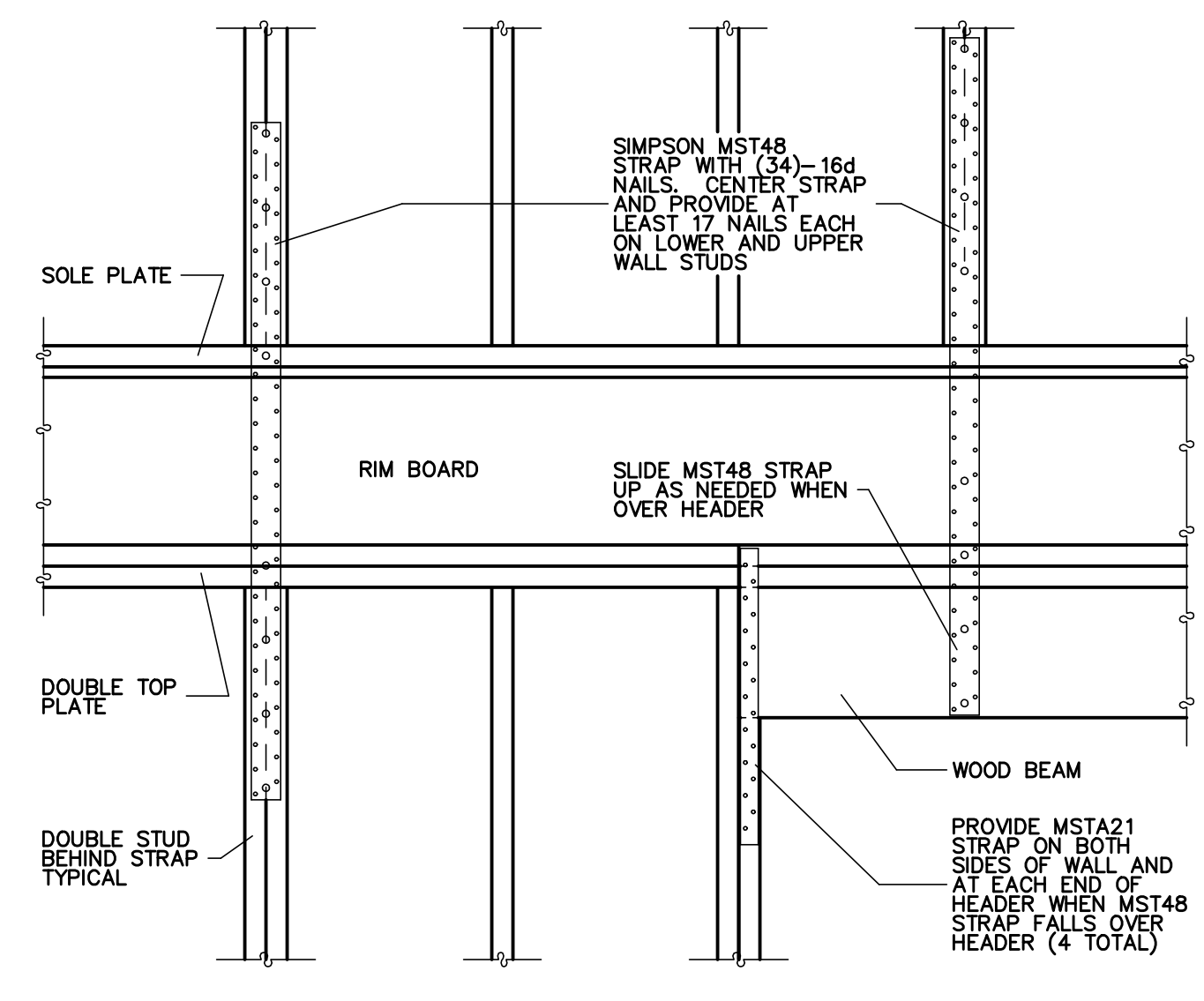
3
S5.2
REBAR DOWELS FOR CONC. SLAB AT CONC. FDN.
NO SCALE



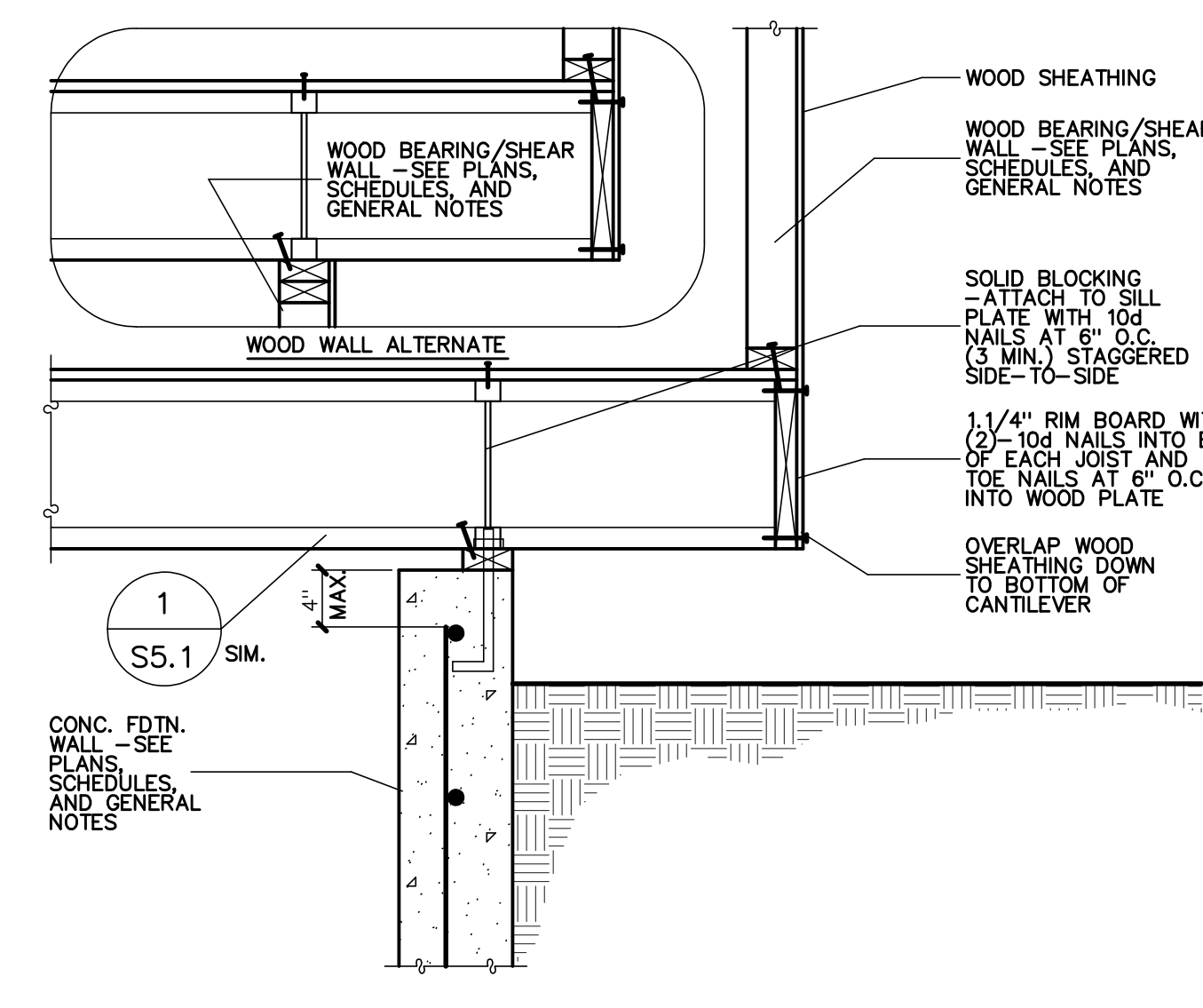
4
S5.2
CONC. PORCH SUSPENDED SLAB
NO SCALE



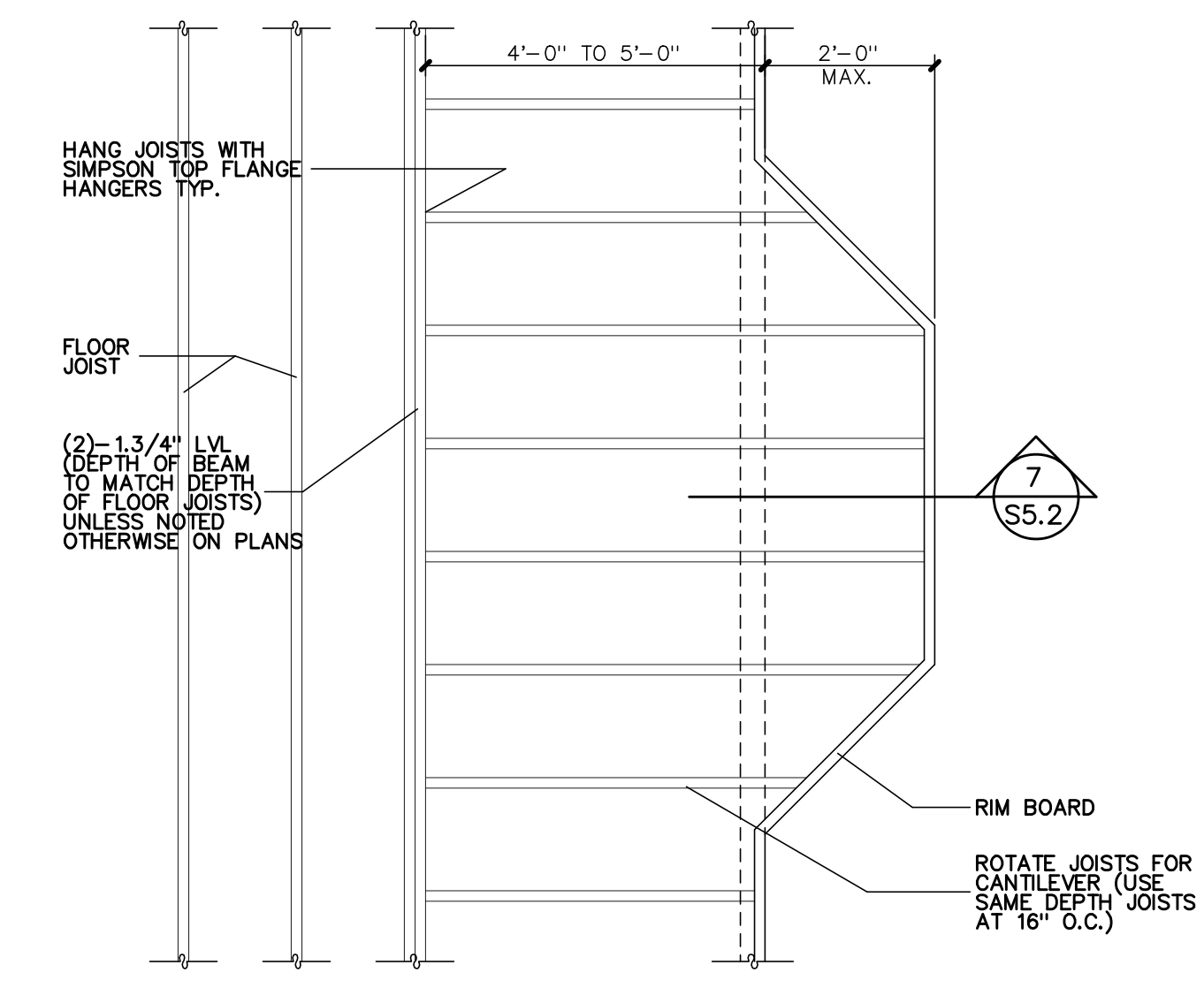
5
S5.2
SW5 SHEAR WALL CONSTRUCTION
NO SCALE



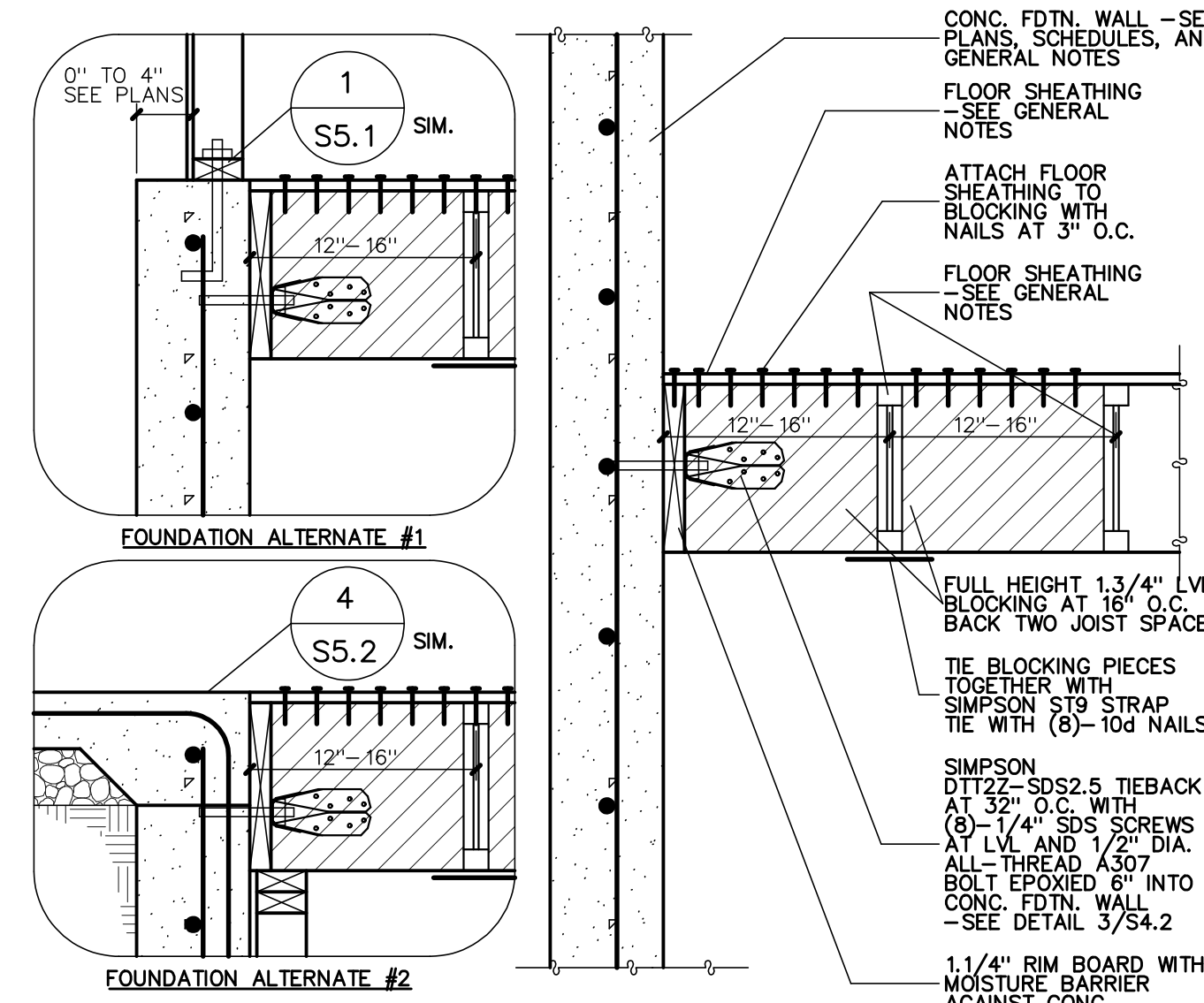
6
S5.2
MST48 AND MST21 FLOOR-TO-FLOOR ATTACHMENT
NO SCALE



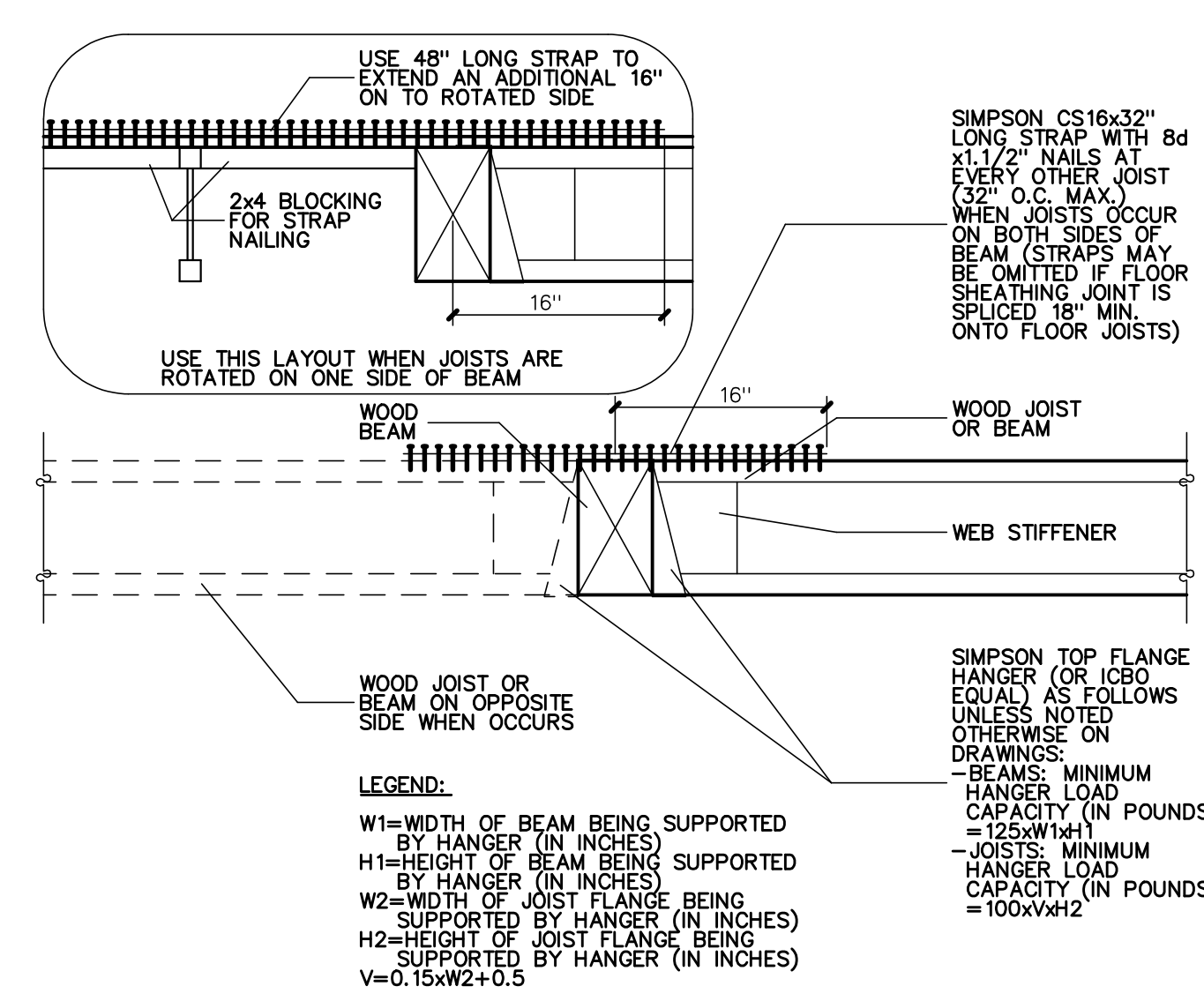
7
S5.2
CANTILEVERED FLOOR
NO SCALE



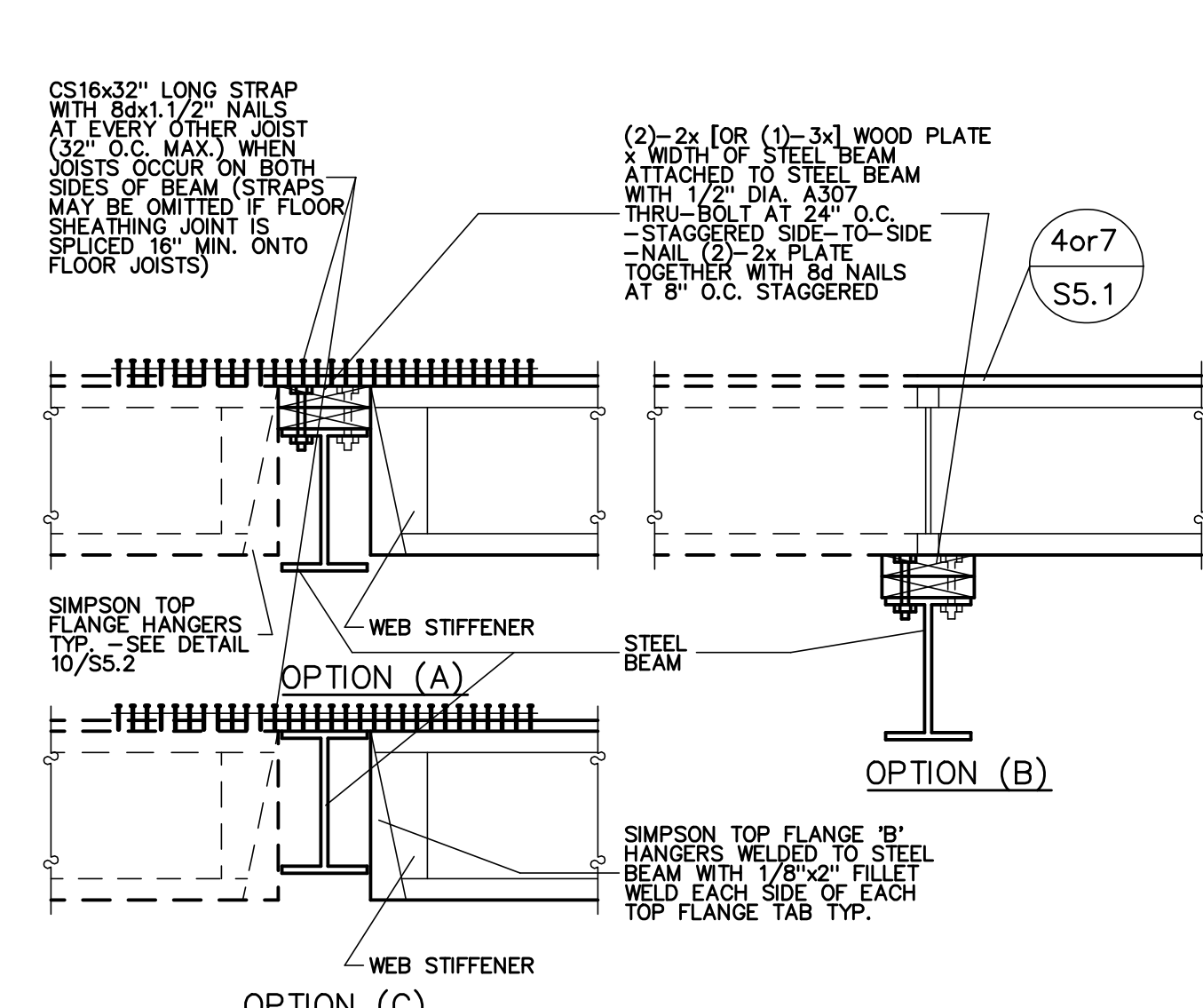
8
S5.2
CANTILEVERED FLOOR LAYOUT WHEN PERPENDICULAR TO FLOOR JOISTS
NO SCALE



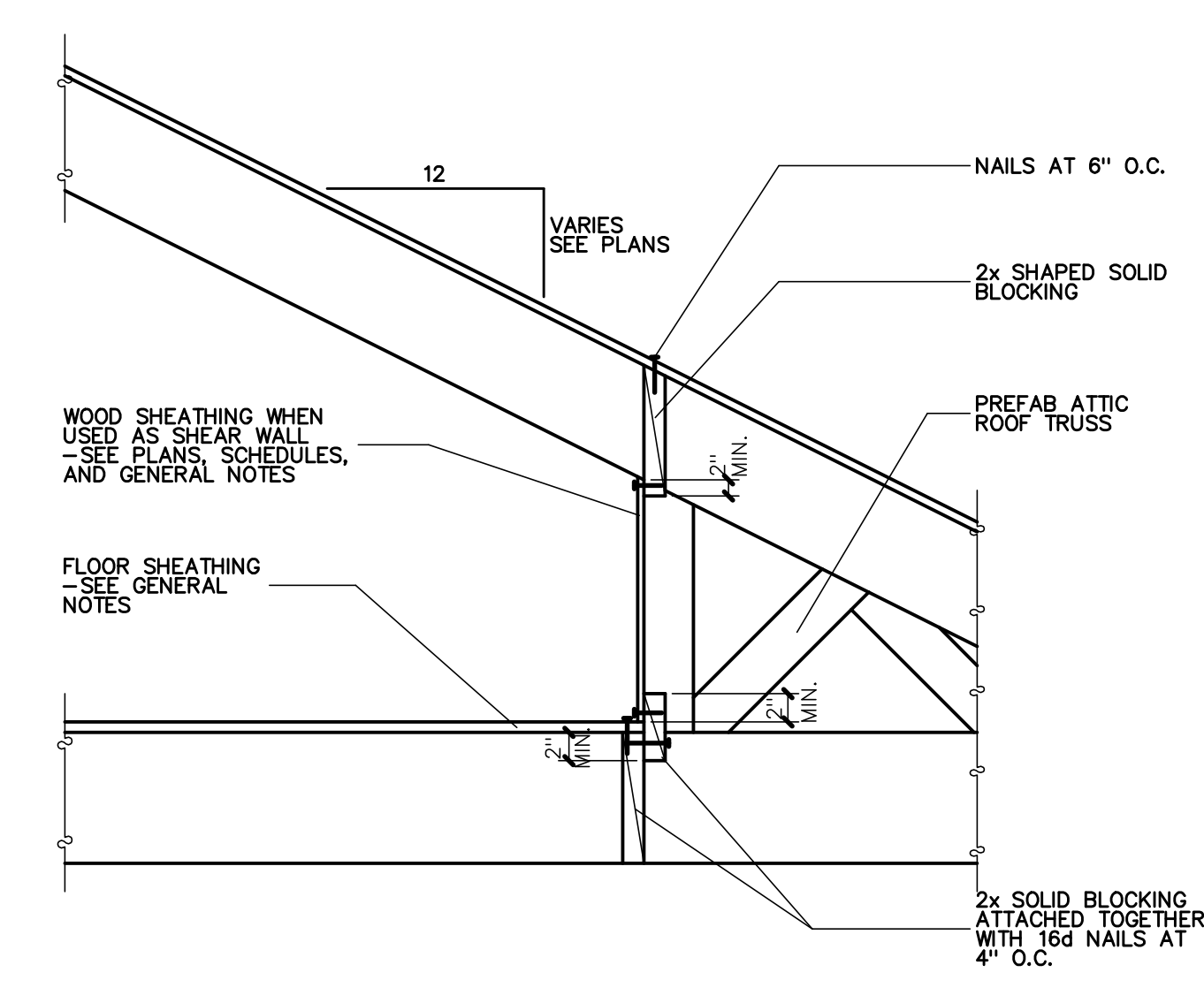
9
S5.2
FLOOR JOIST TO FACE OF FOUNDATION WALL
NO SCALE



10
S5.2
WOOD JOIST OR BEAM TO WOOD BEAM CONNECTION
NO SCALE



11
S5.2
FLOOR JOIST SUPPORT AT STEEL BEAM
NO SCALE

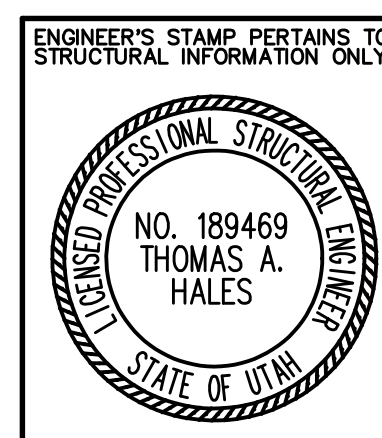


12
S5.2
INTERIOR DIAPHRAGM ATTACHMENT AT ATTIC TRUSS FLOOR
NO SCALE

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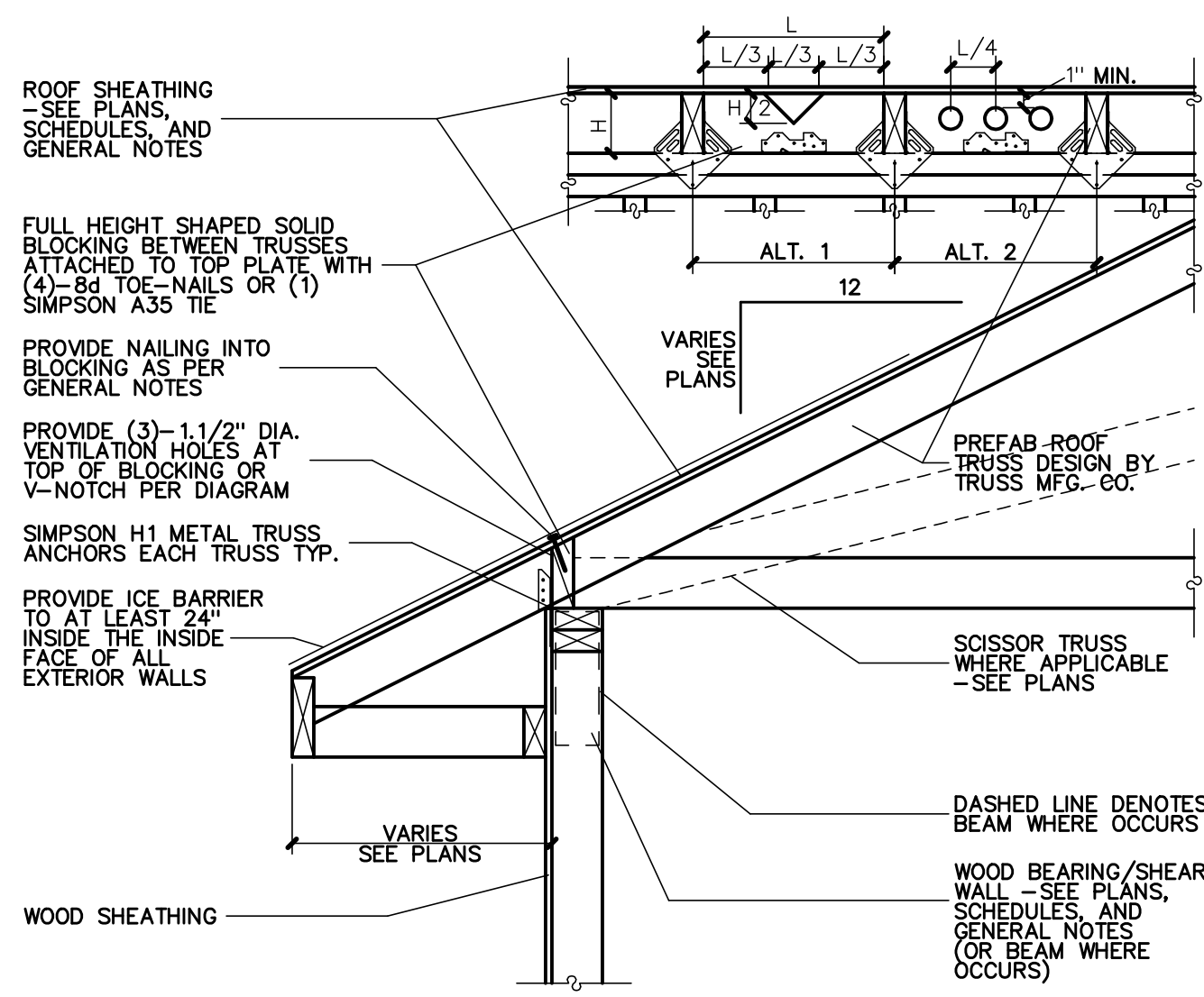
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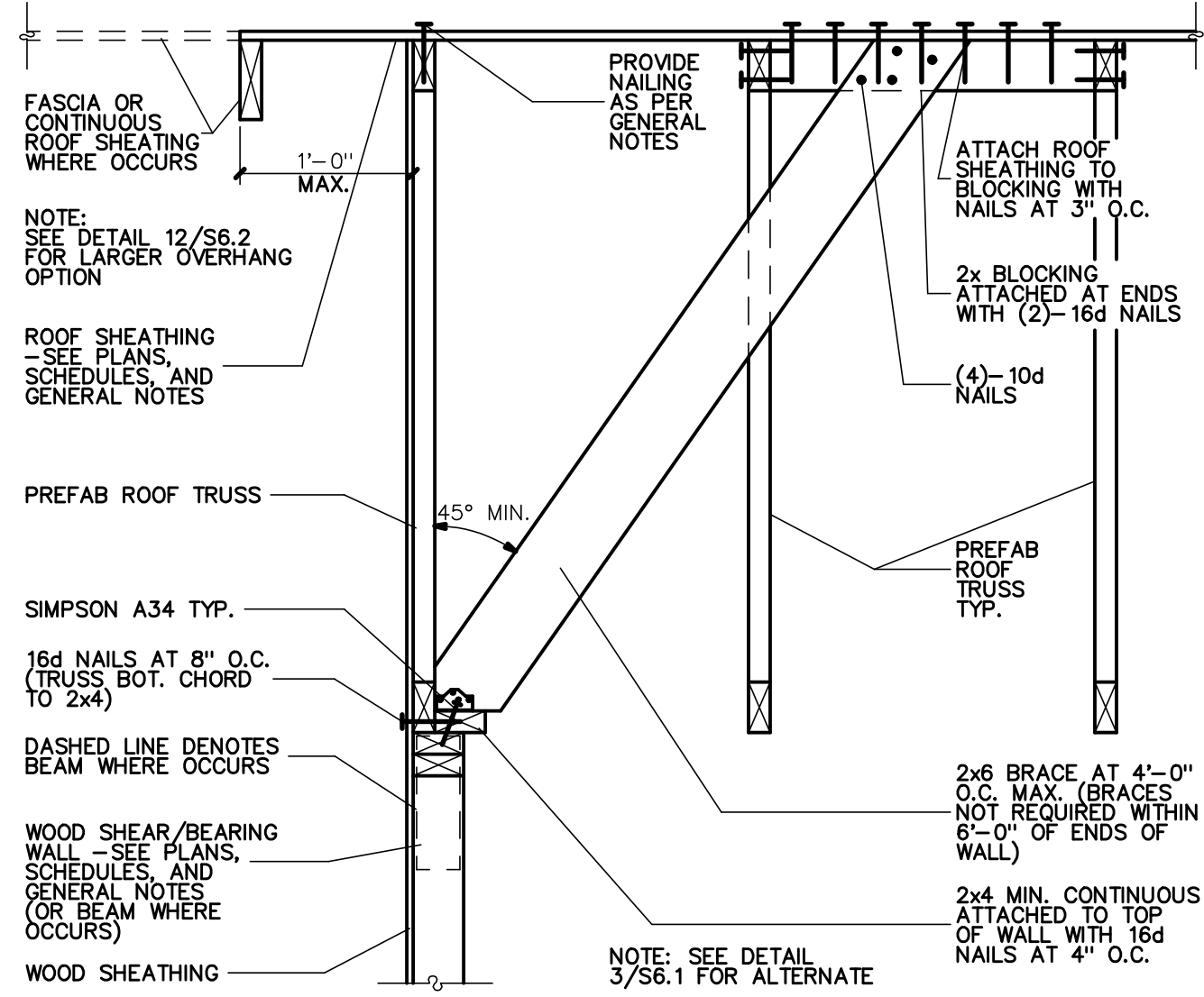
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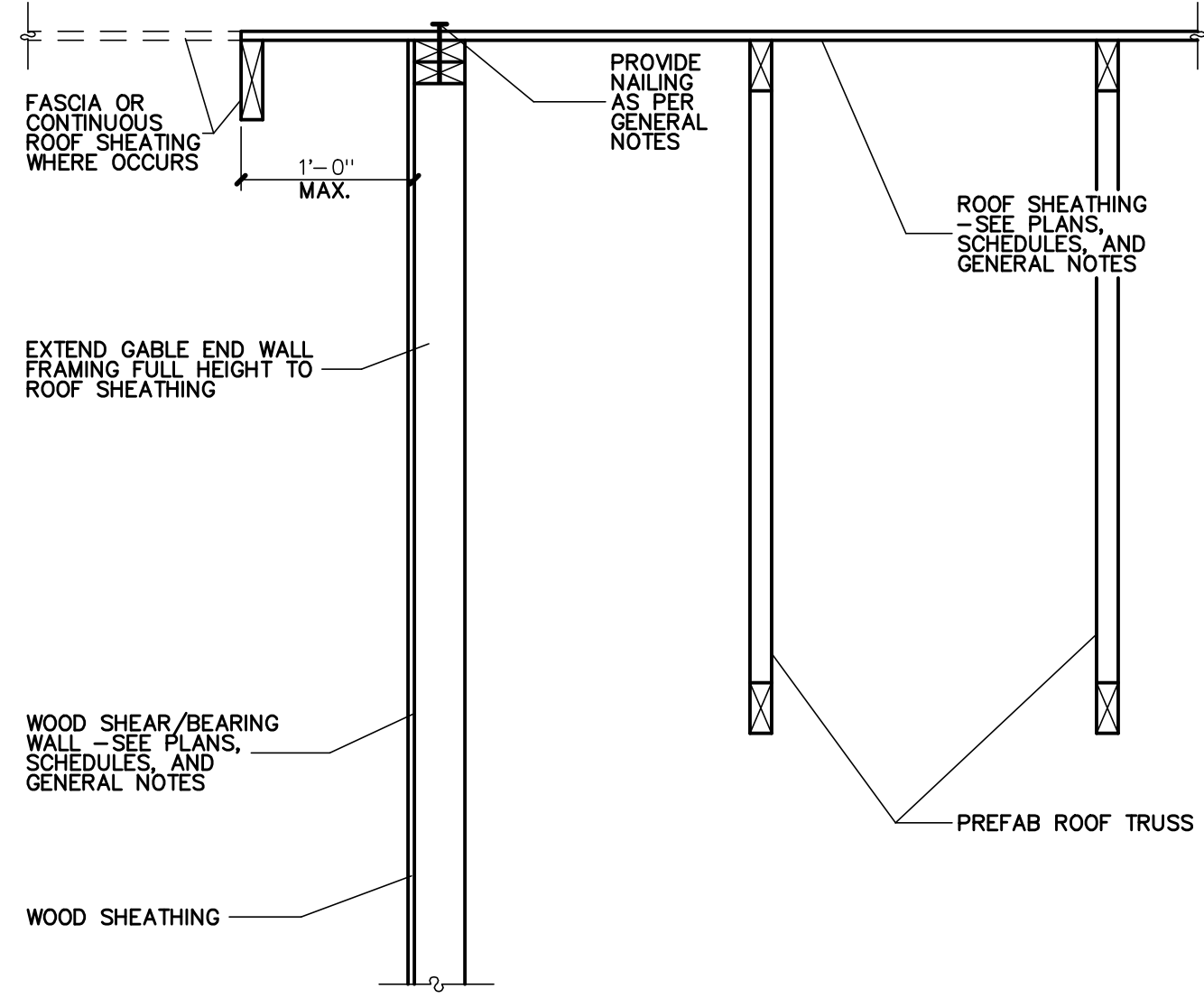
SHEET
S5.2



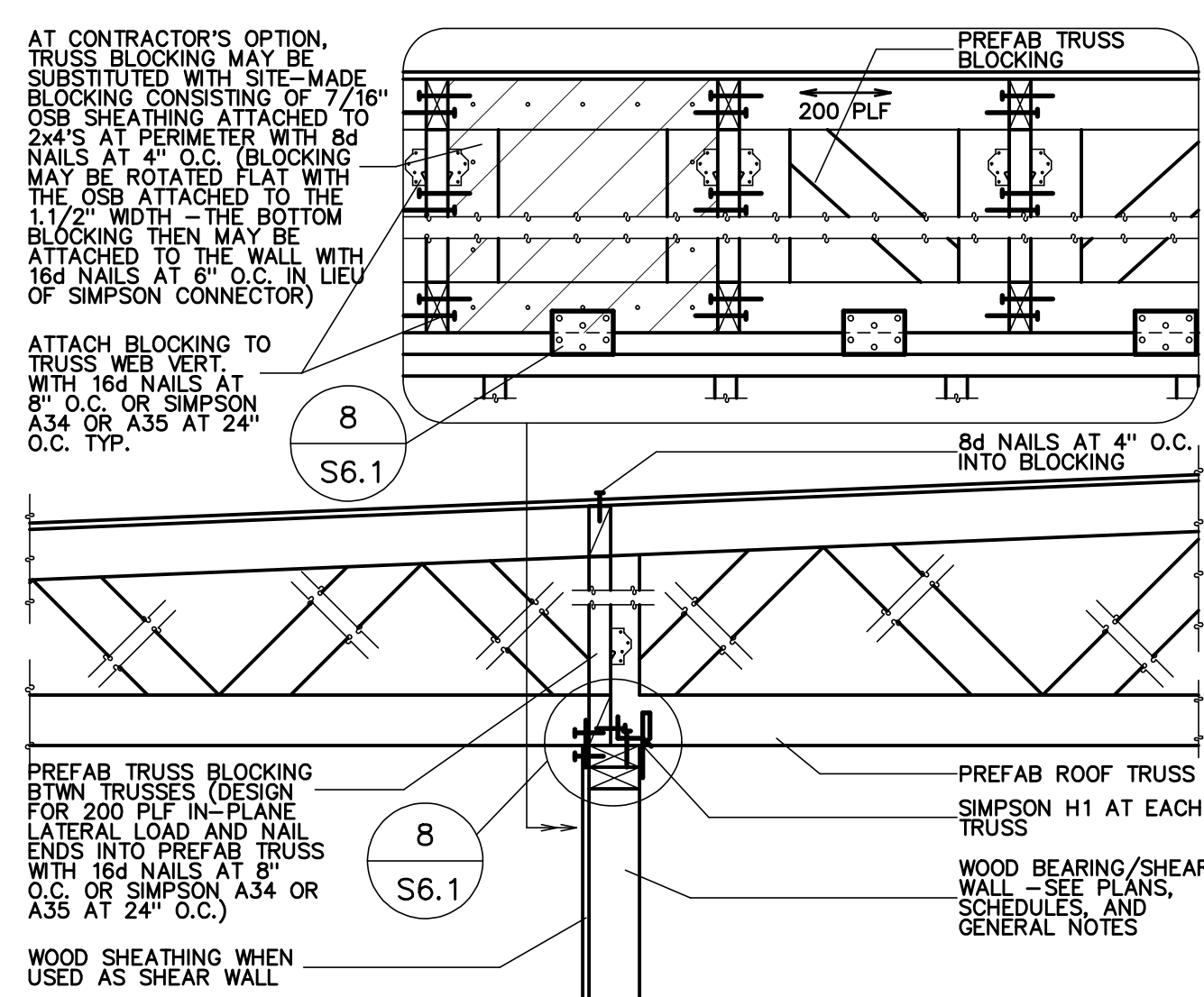
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



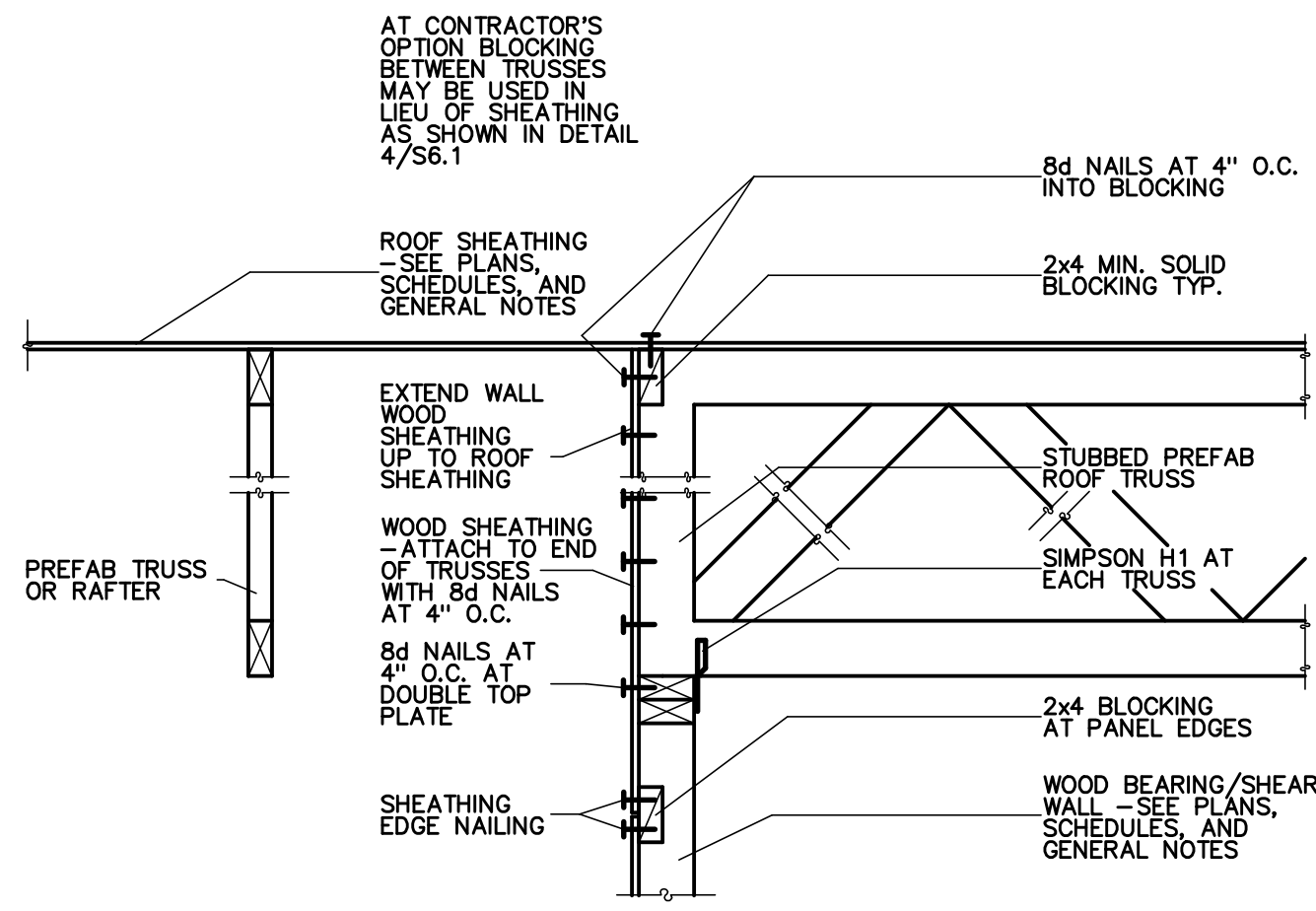
GABLE END AND/OR SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



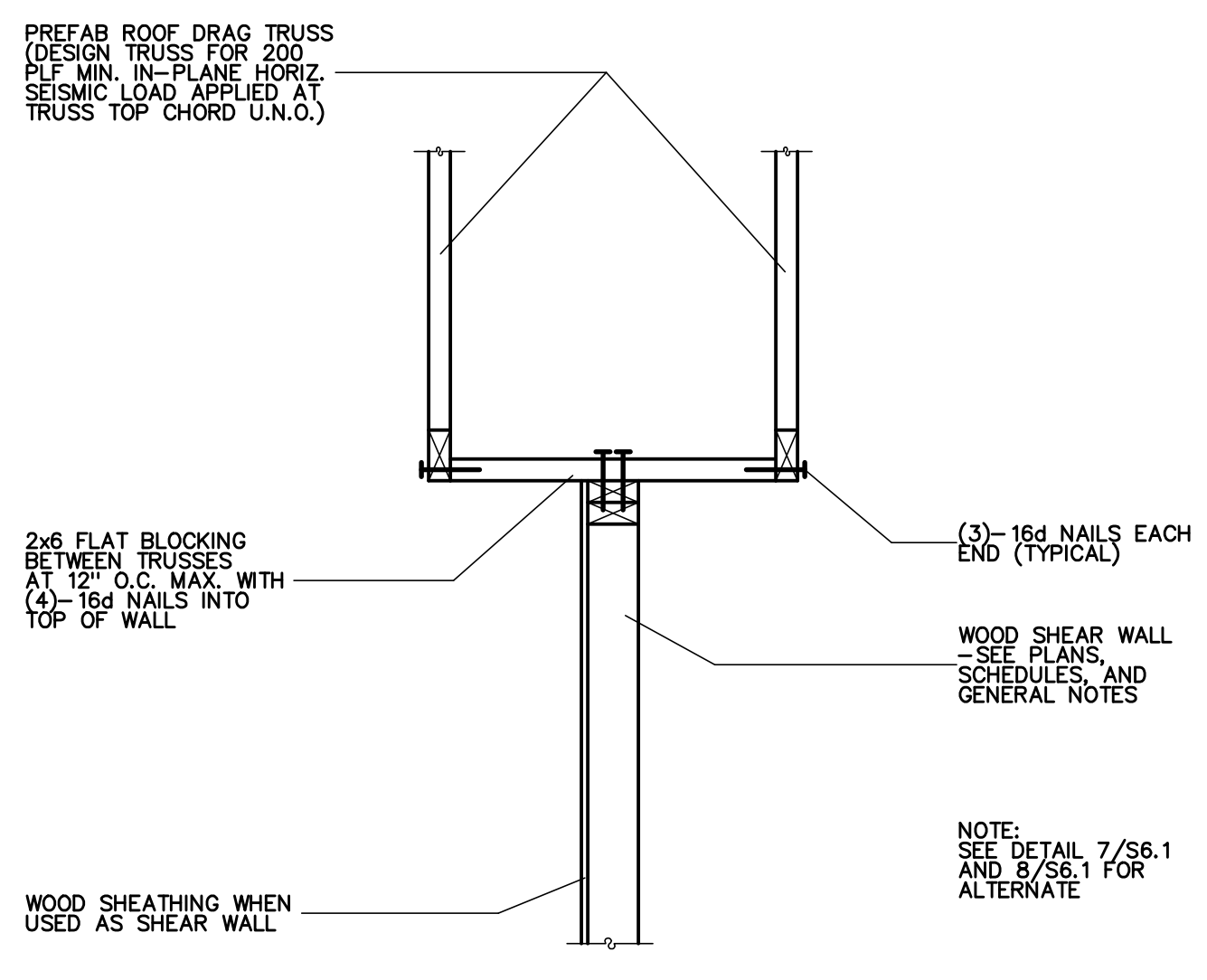
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NO SCALE



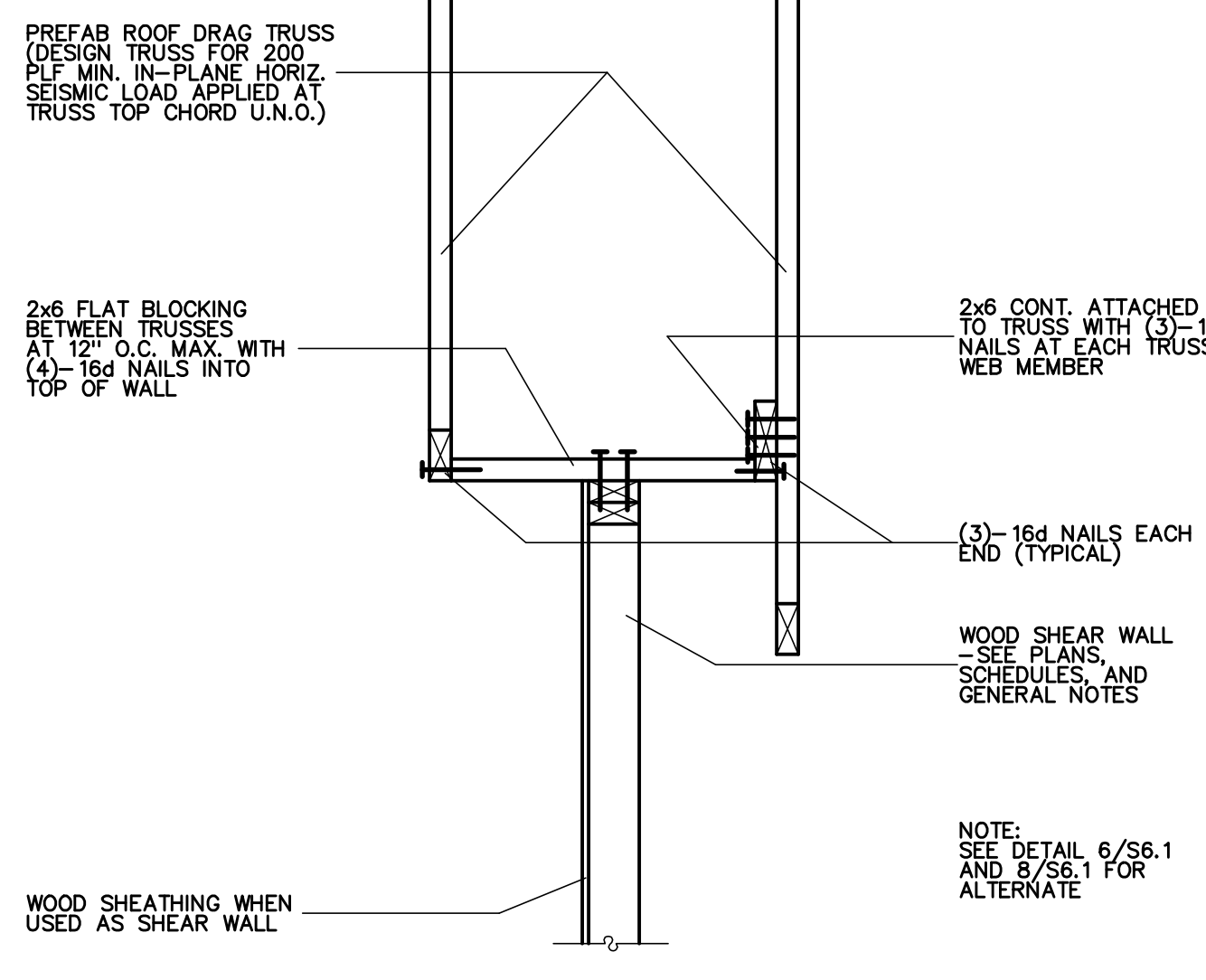
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



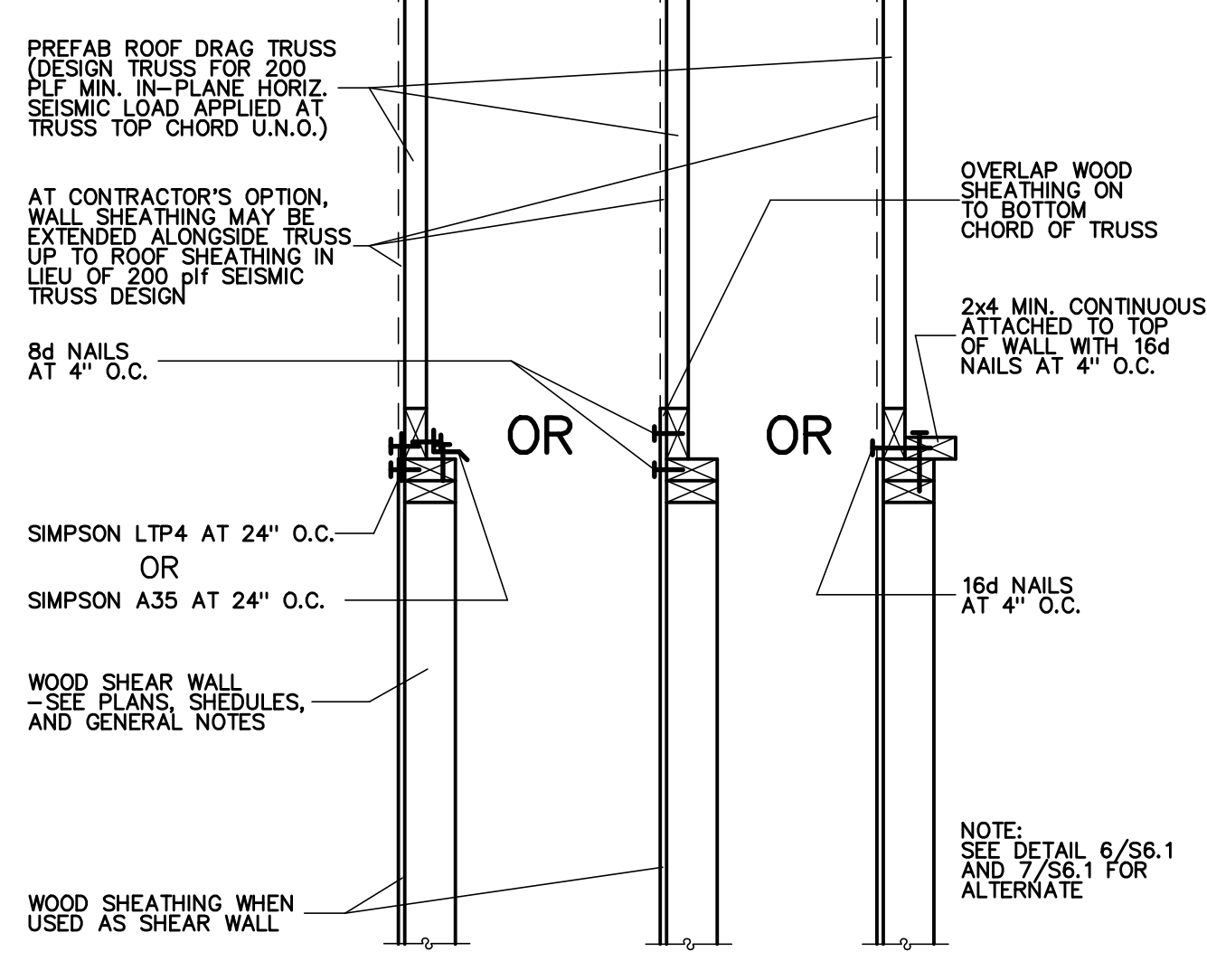
BEARING/SHEAR WALL AT STUBBED ROOF TRUSSES
NO SCALE



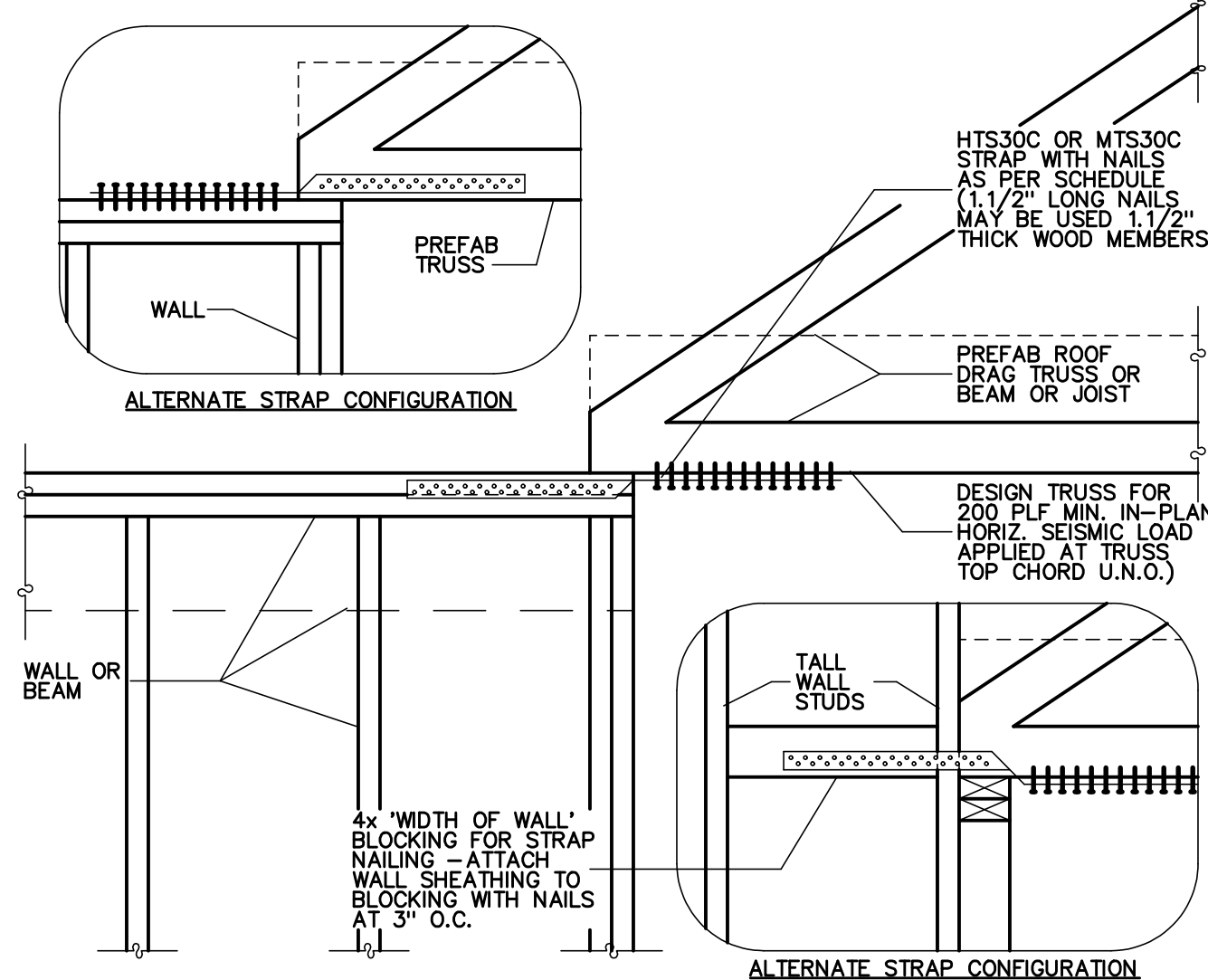
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



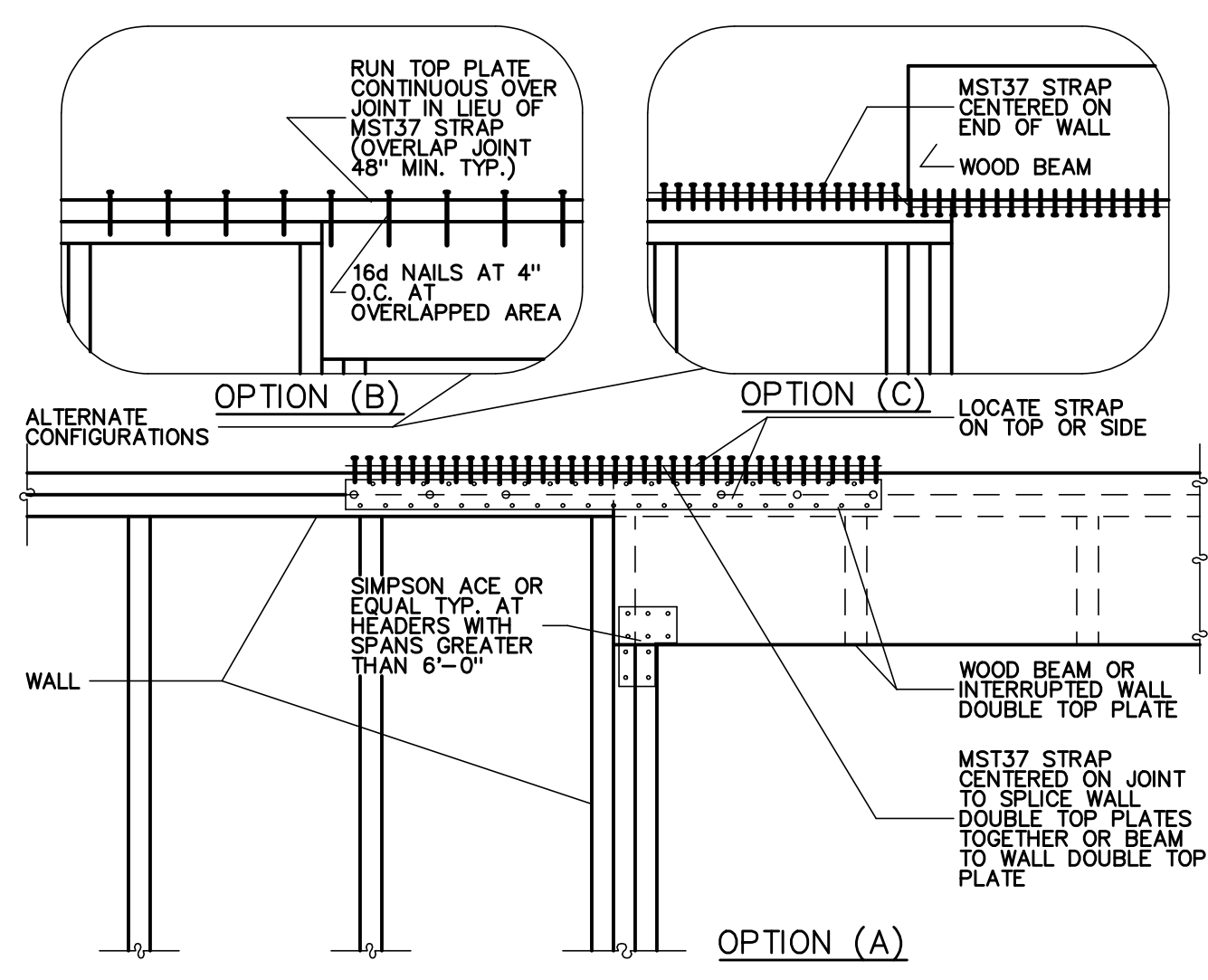
SHEAR WALL PARALLEL TO ROOF TRUSSES
NO SCALE



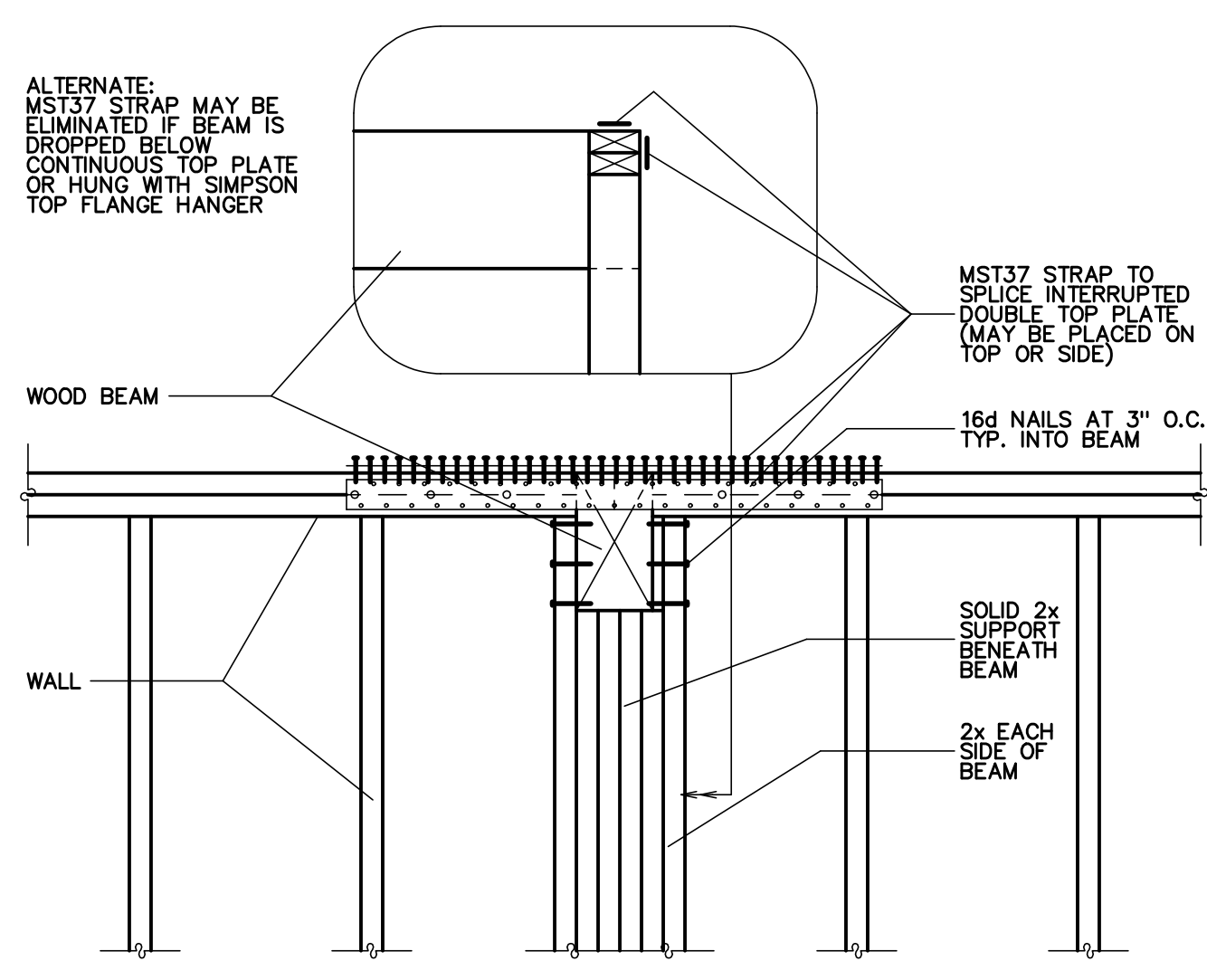
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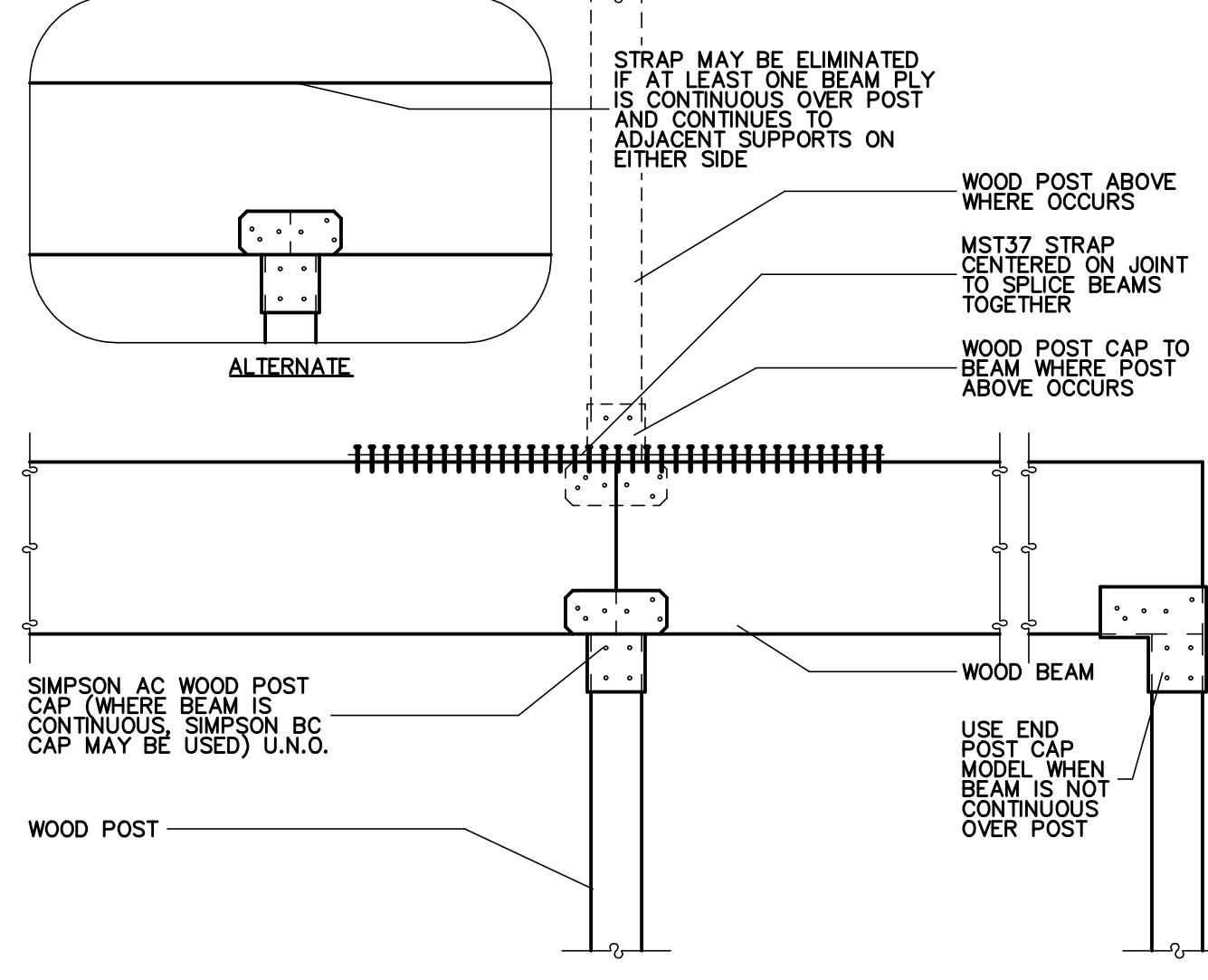
HTS30C/MTS30C STRAP INSTALLATION
NO SCALE



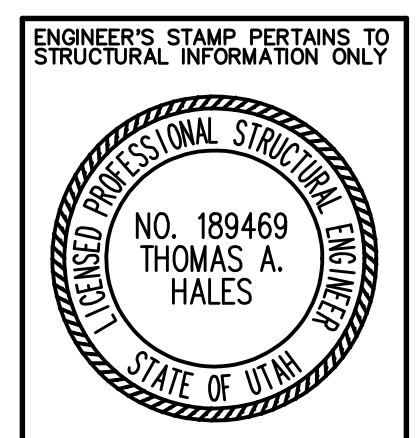
MST37 STRAP INSTALLATION AND HEADER DETAIL
NO SCALE



WOOD BEAM POCKET IN WALL
NO SCALE



WOOD BEAM TO POST AND MST37 STRAP INSTALLATION
NO SCALE



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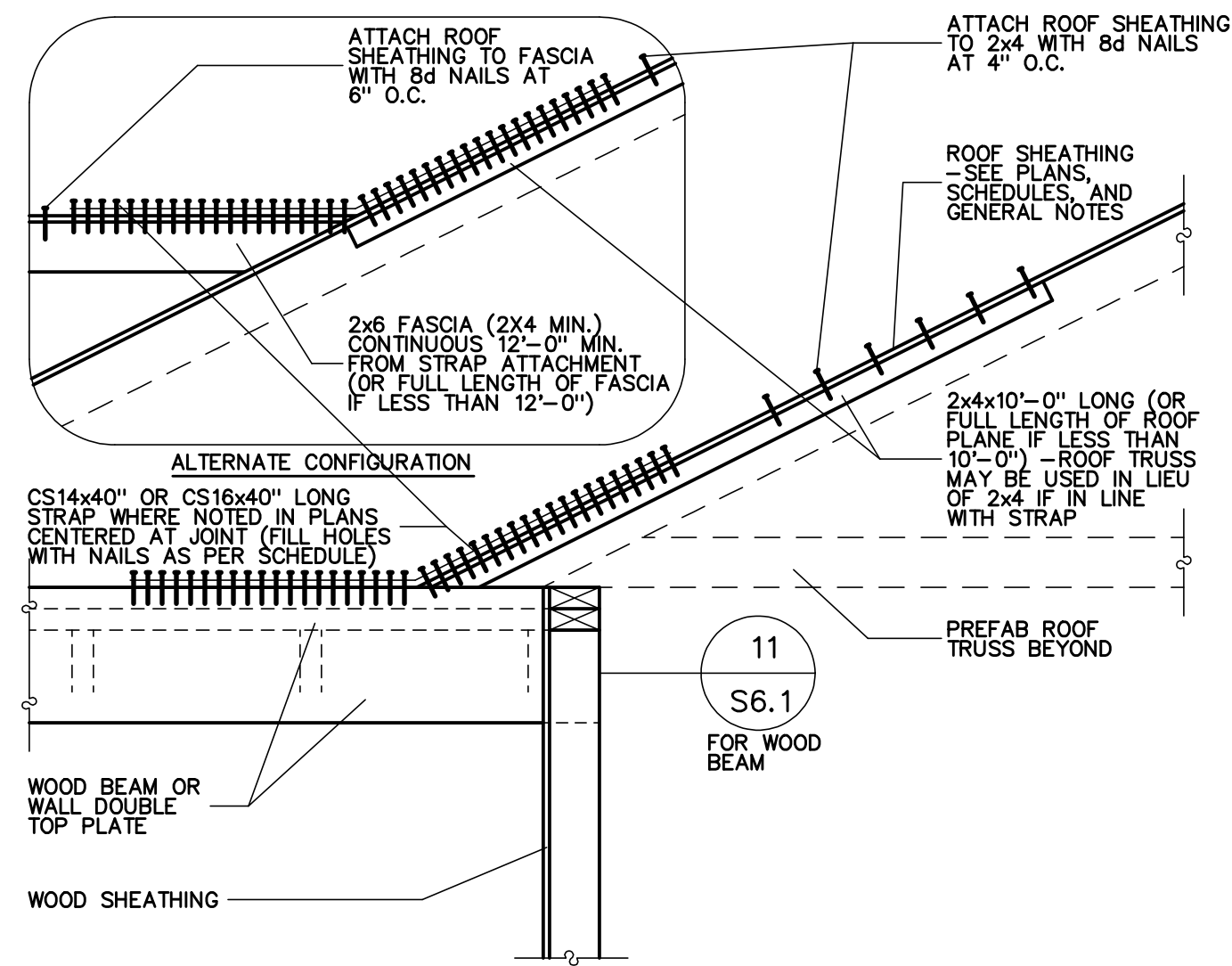


ROOF FRAMING DETAILS
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S6.1

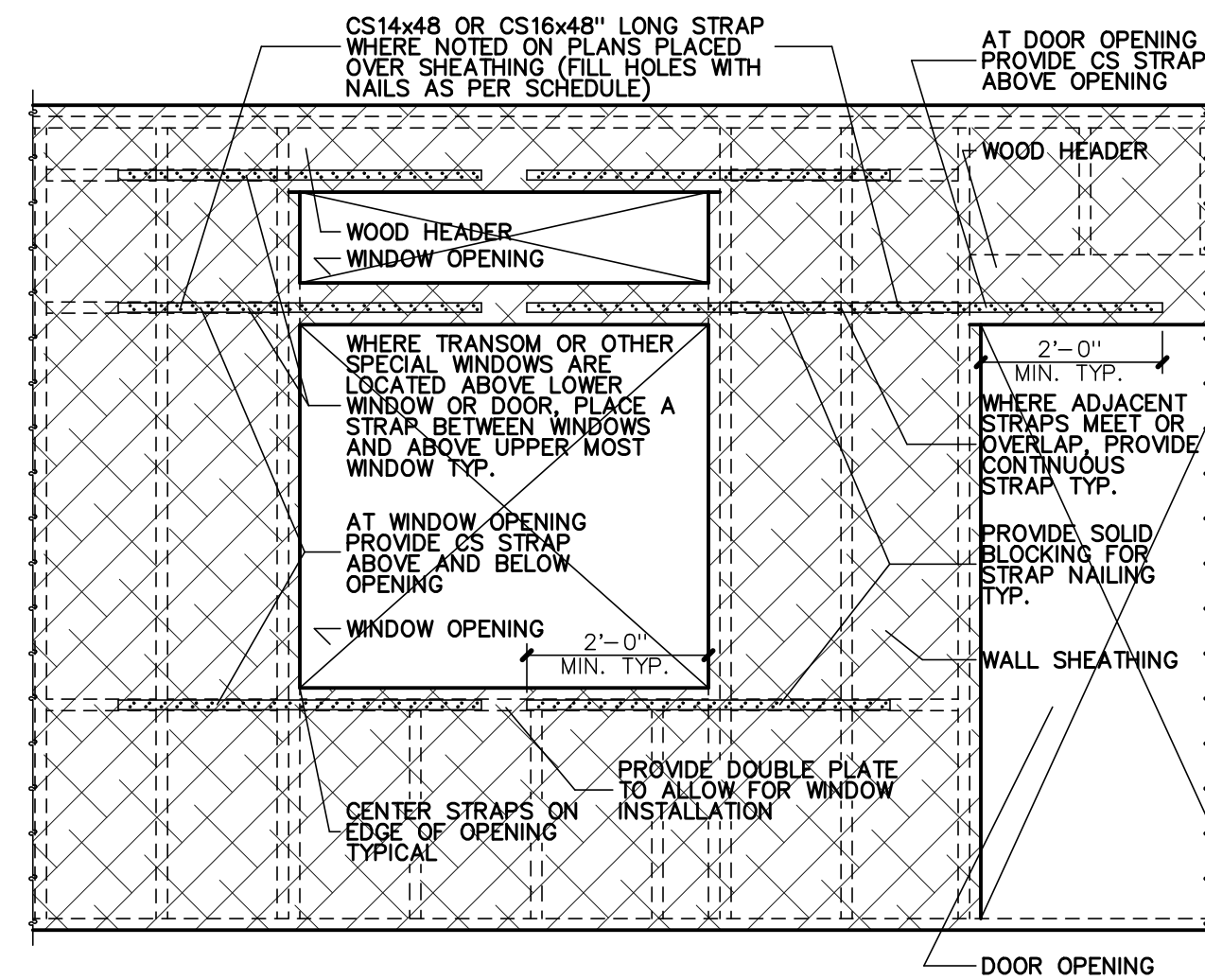
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CS16x40 STRAP INSTALLATION
NO SCALE

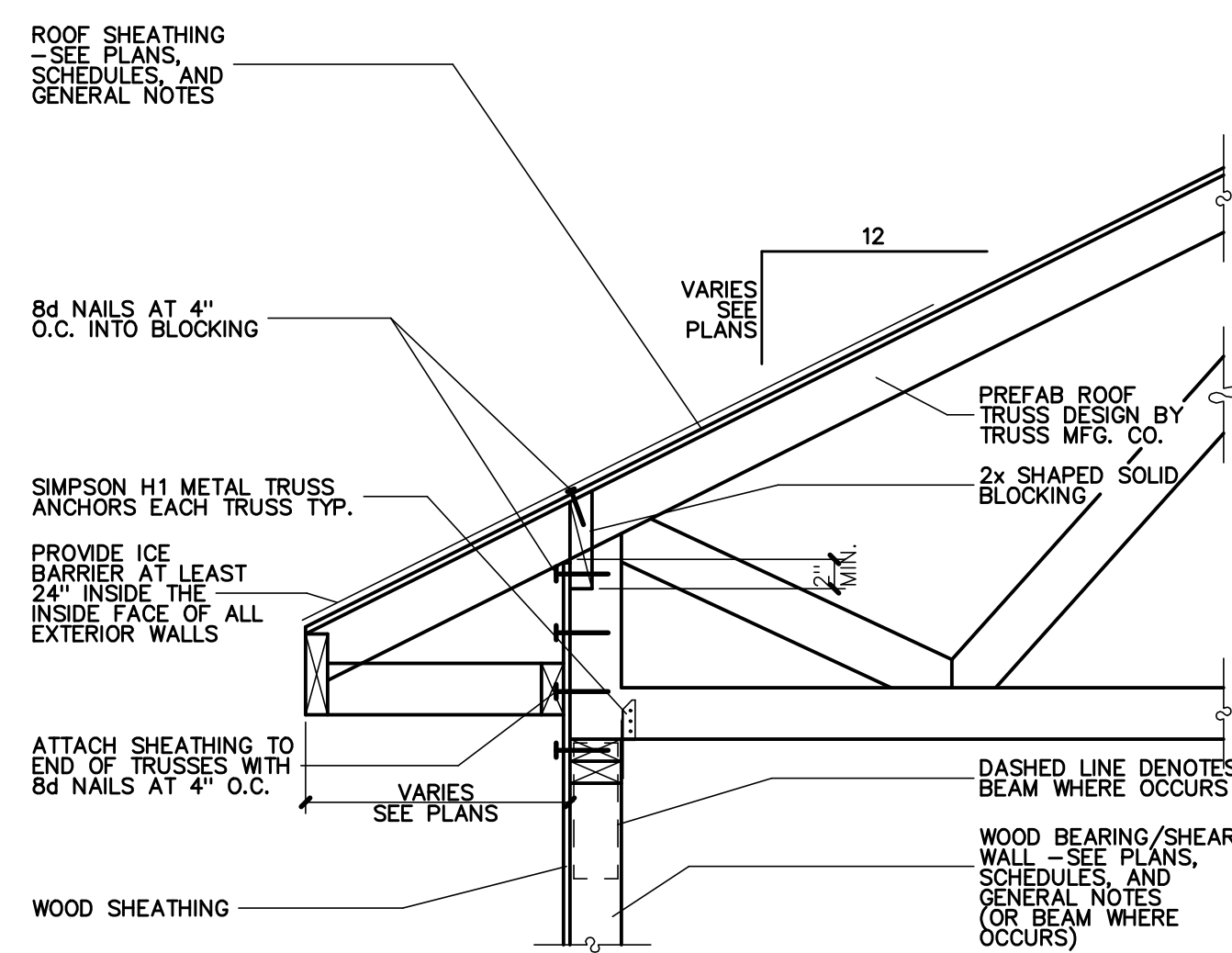
1
S6.2



NOTE: PROVIDE STRAP ON BOTH SIDES OF WALL FOR SW3 SHEAR WALLS

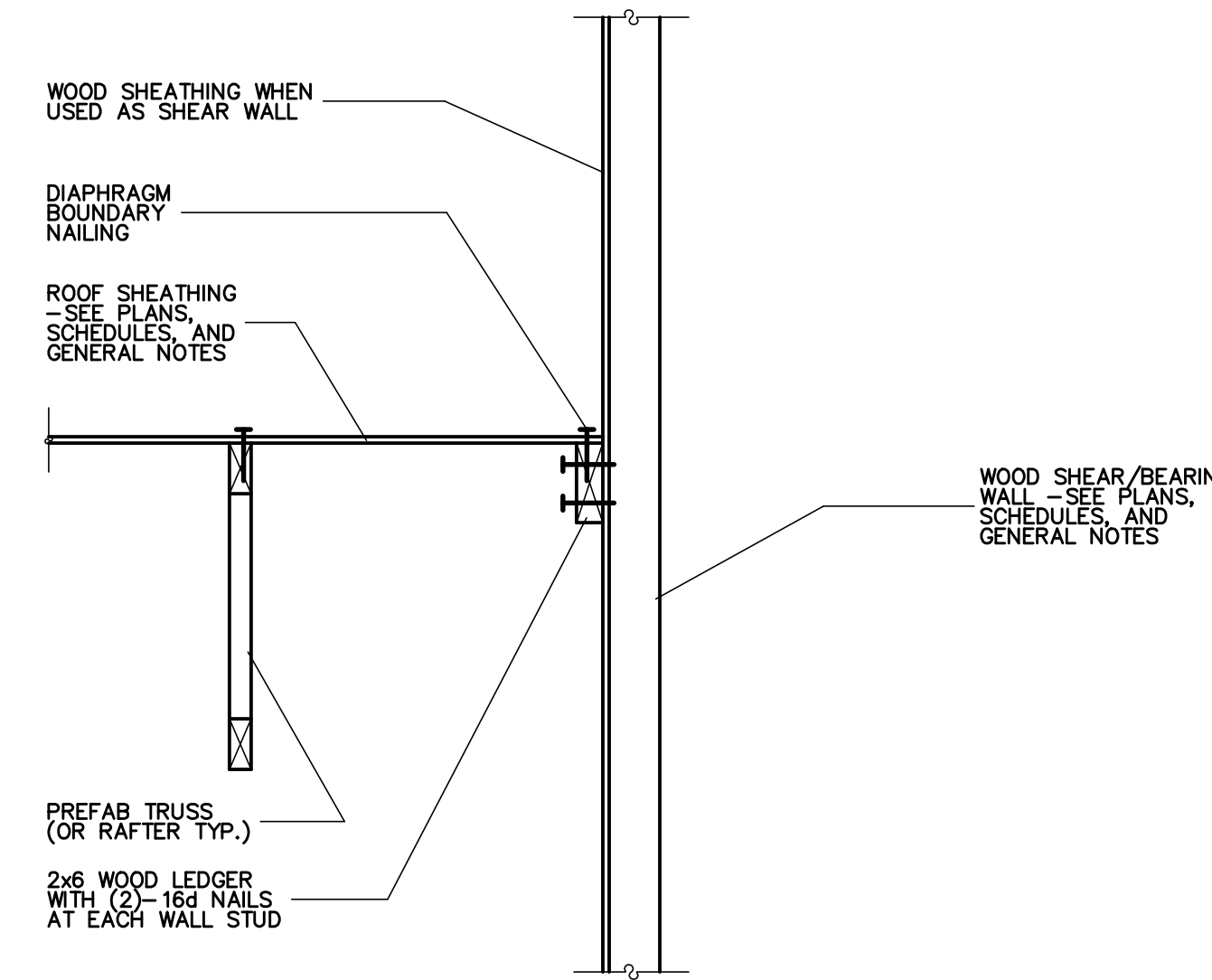
CS16x48 STRAP ATTACHMENT
NO SCALE

2
S6.2



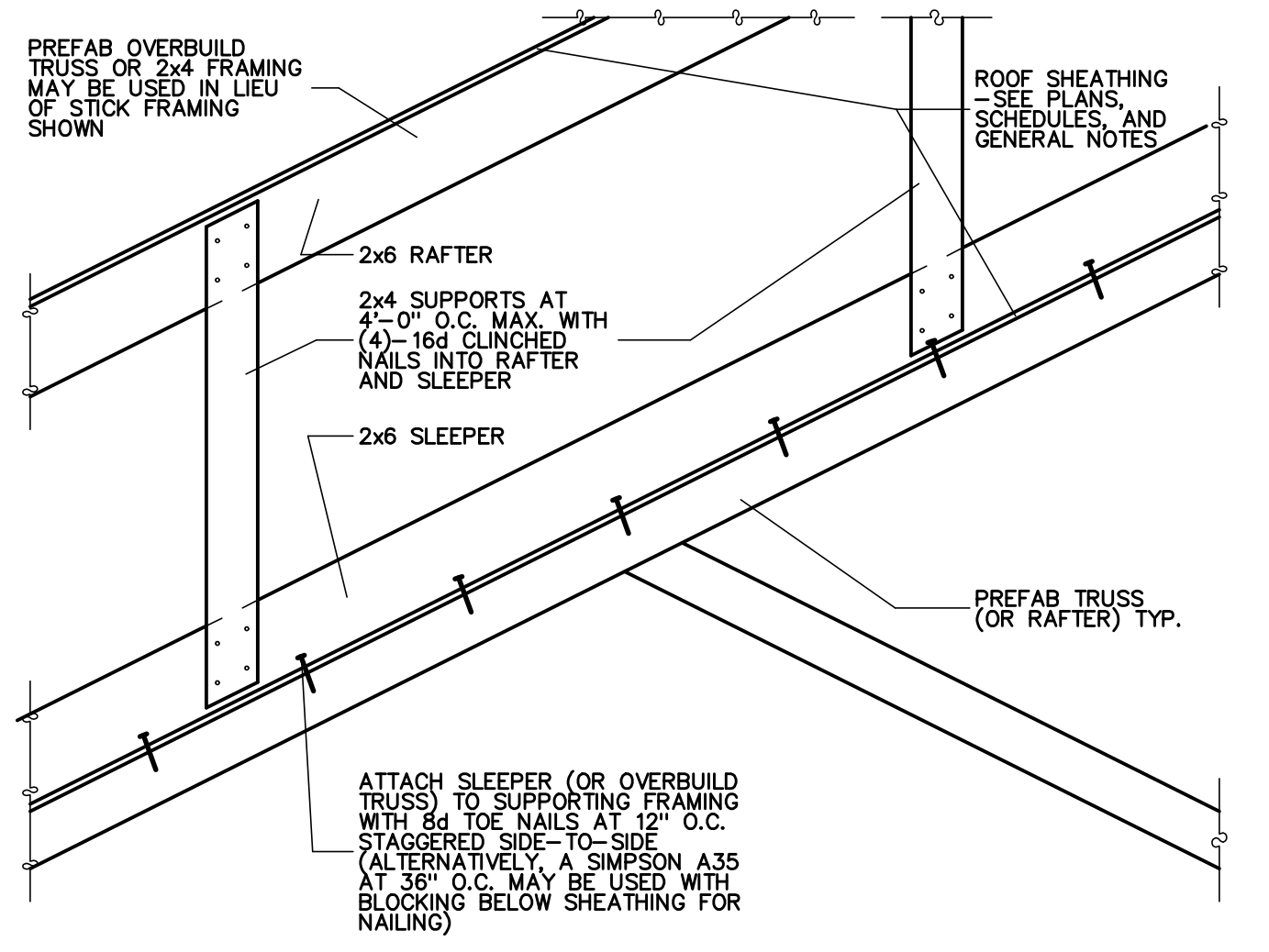
BEARING/SHEAR WALL AT RAISED-HEEL ROOF TRUSSES
NO SCALE

3
S6.2



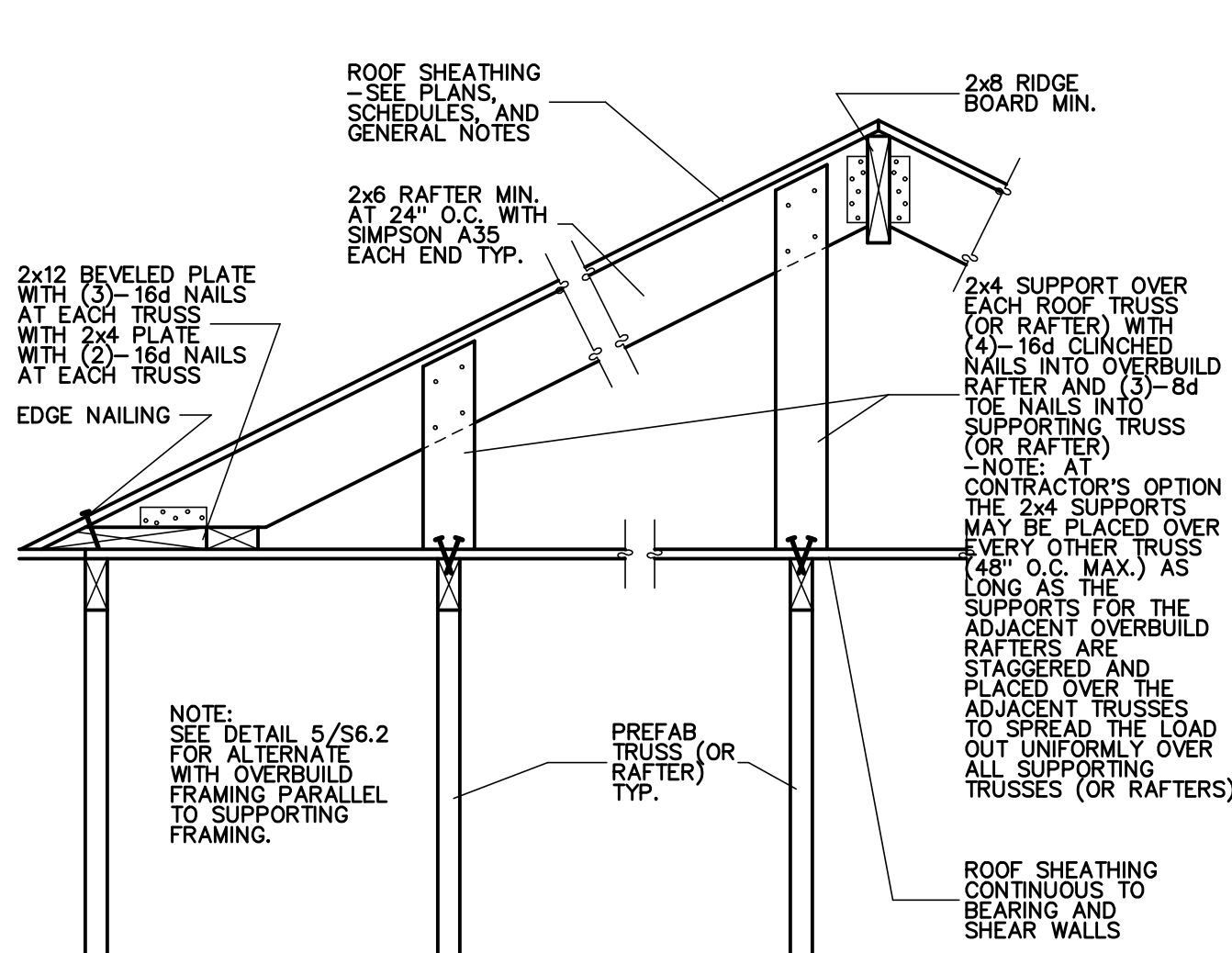
TRUSSES PARALLEL TO BEARING/SHEAR WALL
NO SCALE

4
S6.2



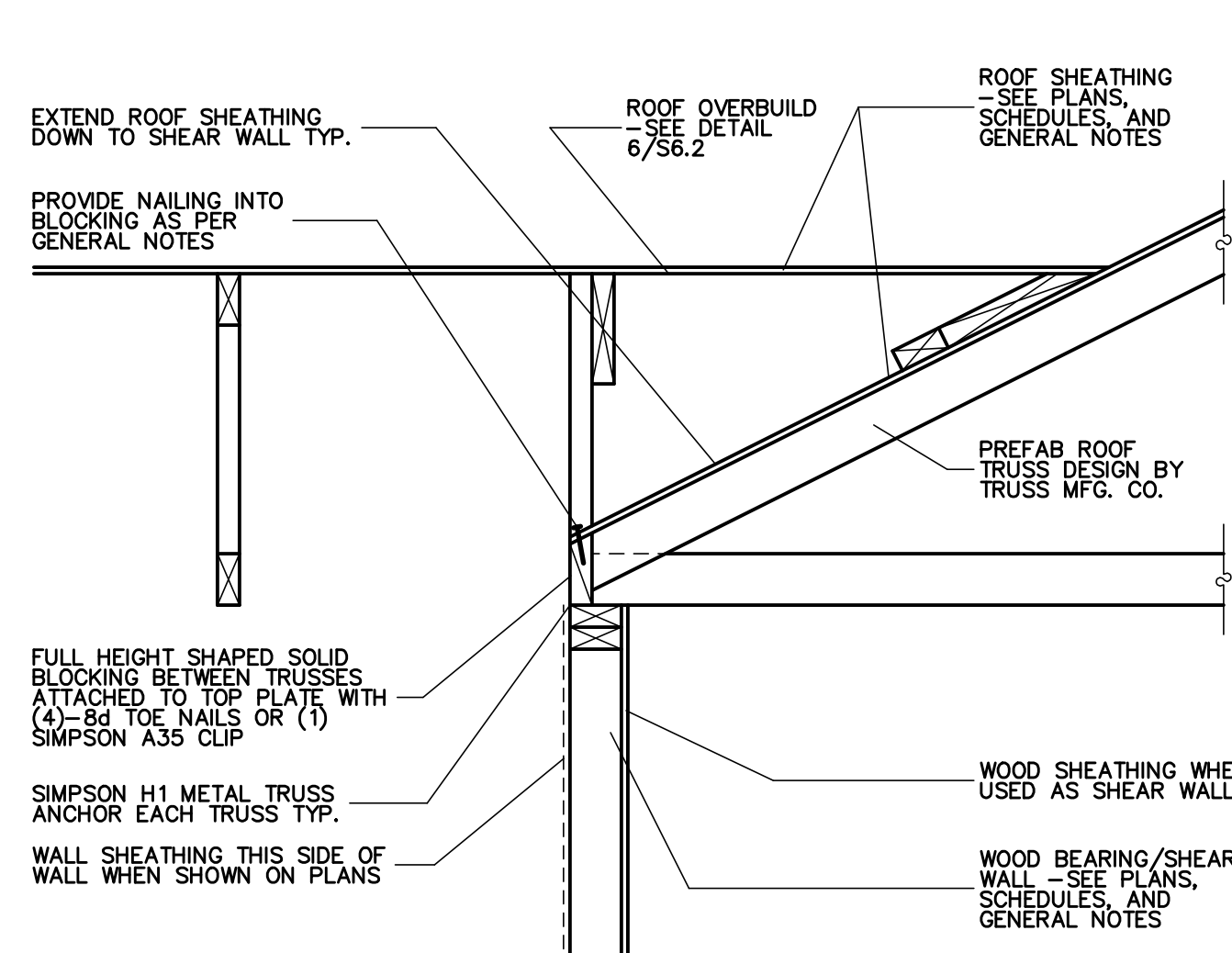
ROOF FRAMING OVERBUILD (OVERBUILD FRAMING PARALLEL TO SUPPORTING FRAMING)
NO SCALE

5
S6.2



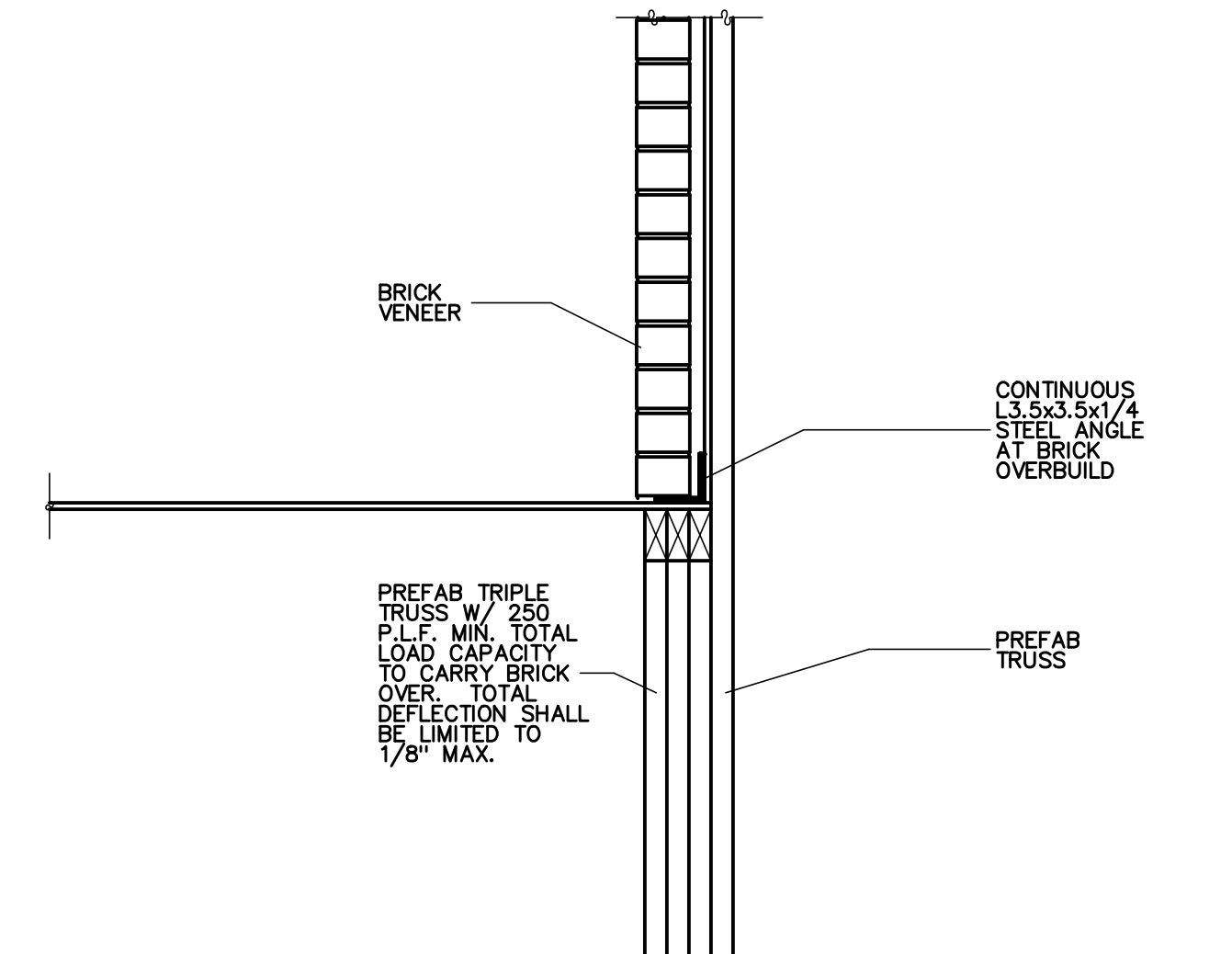
ROOF FRAMING OVERBUILD
NO SCALE

6
S6.2



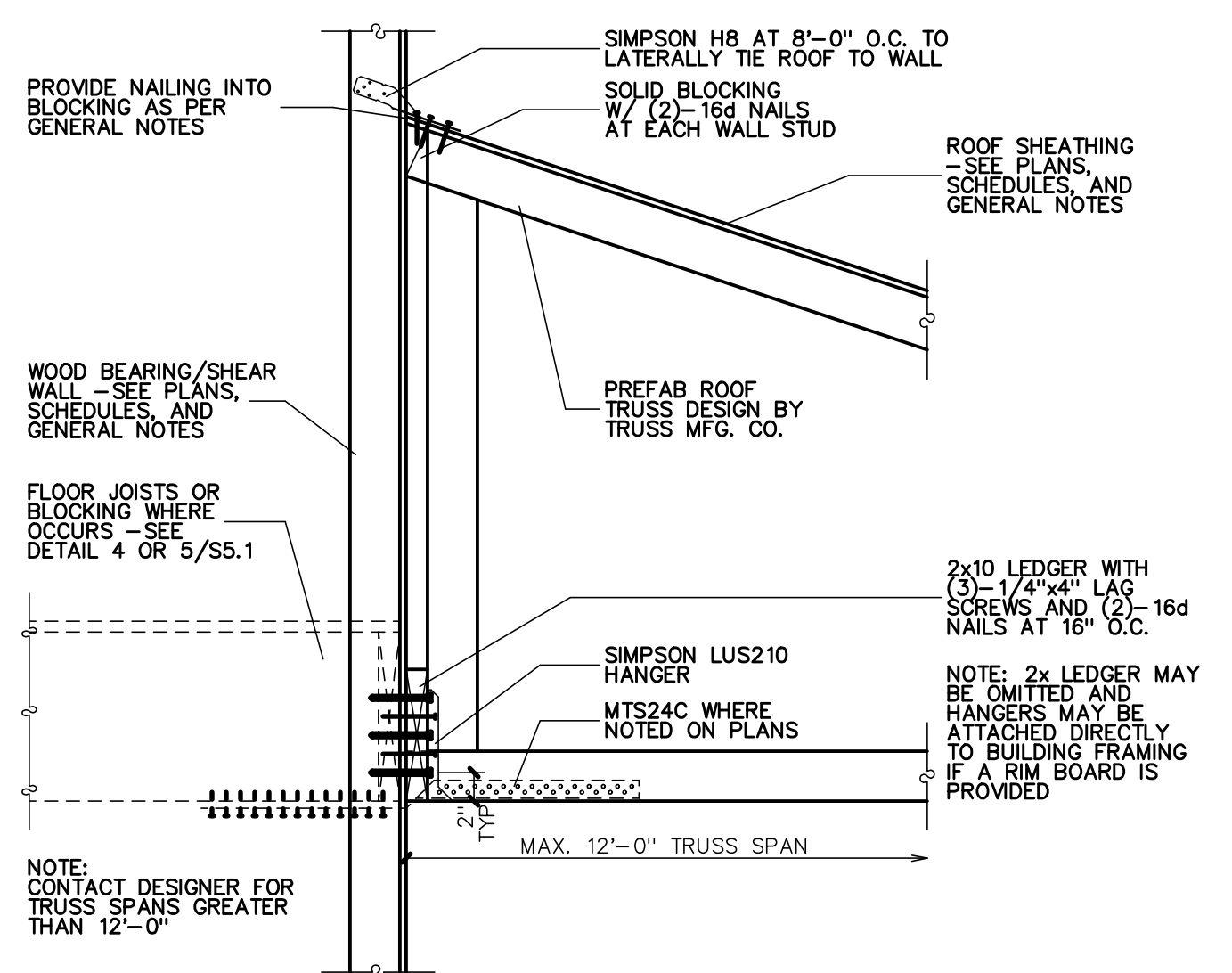
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE

7
S6.2



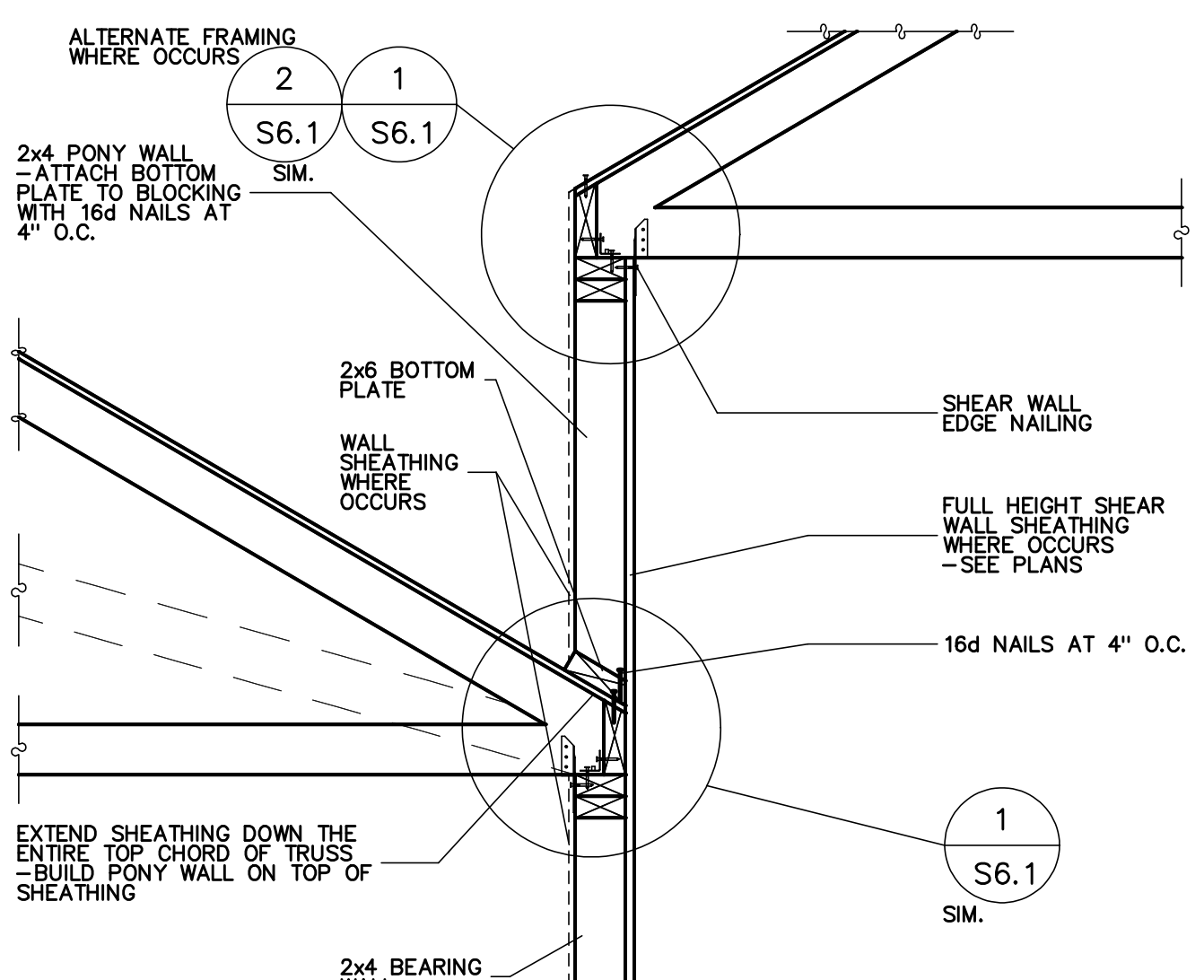
BRICK OVER ROOF SUPPORT
NO SCALE

8
S6.2



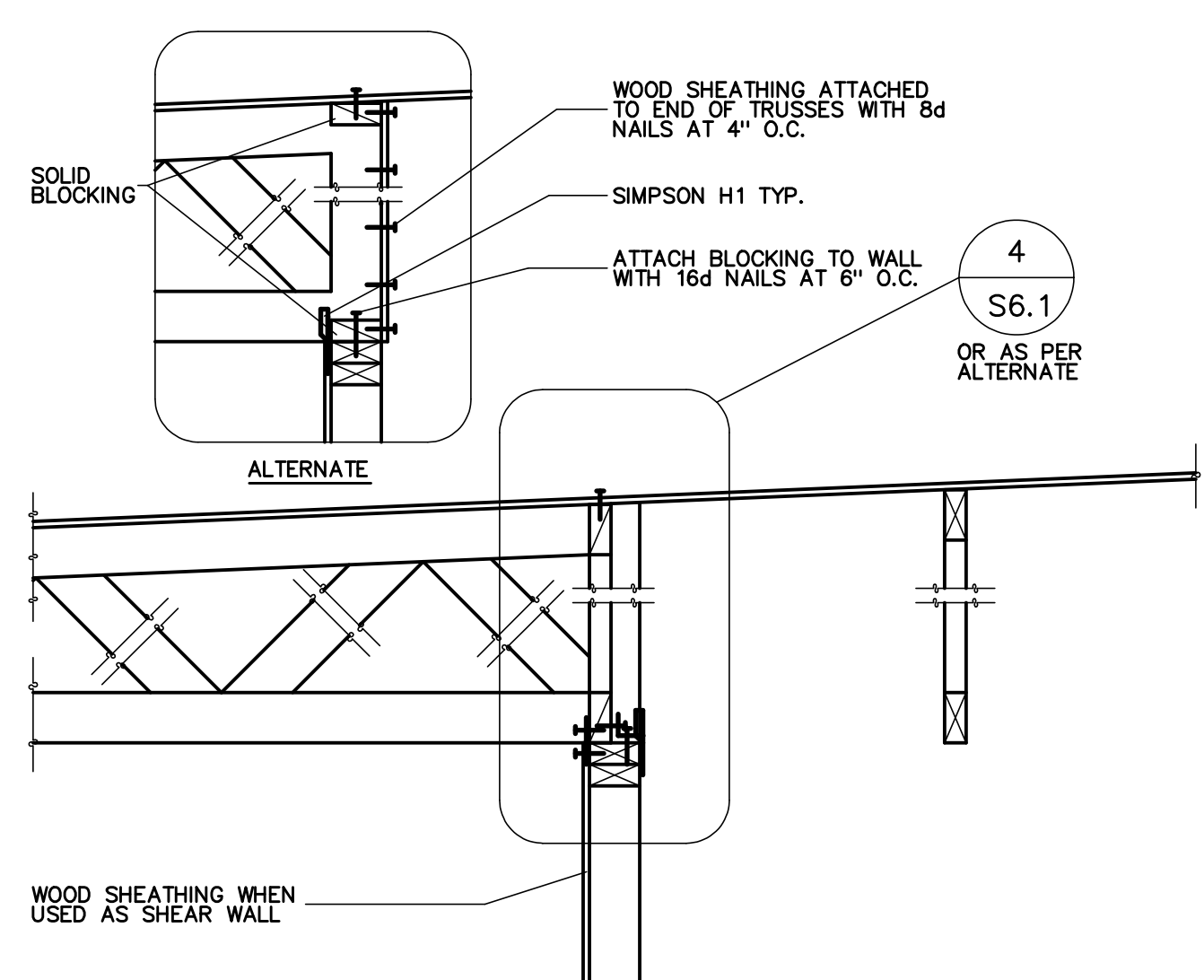
ROOF TRUSS BEARING AT SIDE OF WALL (UP TO 12\"/>

9
S6.2



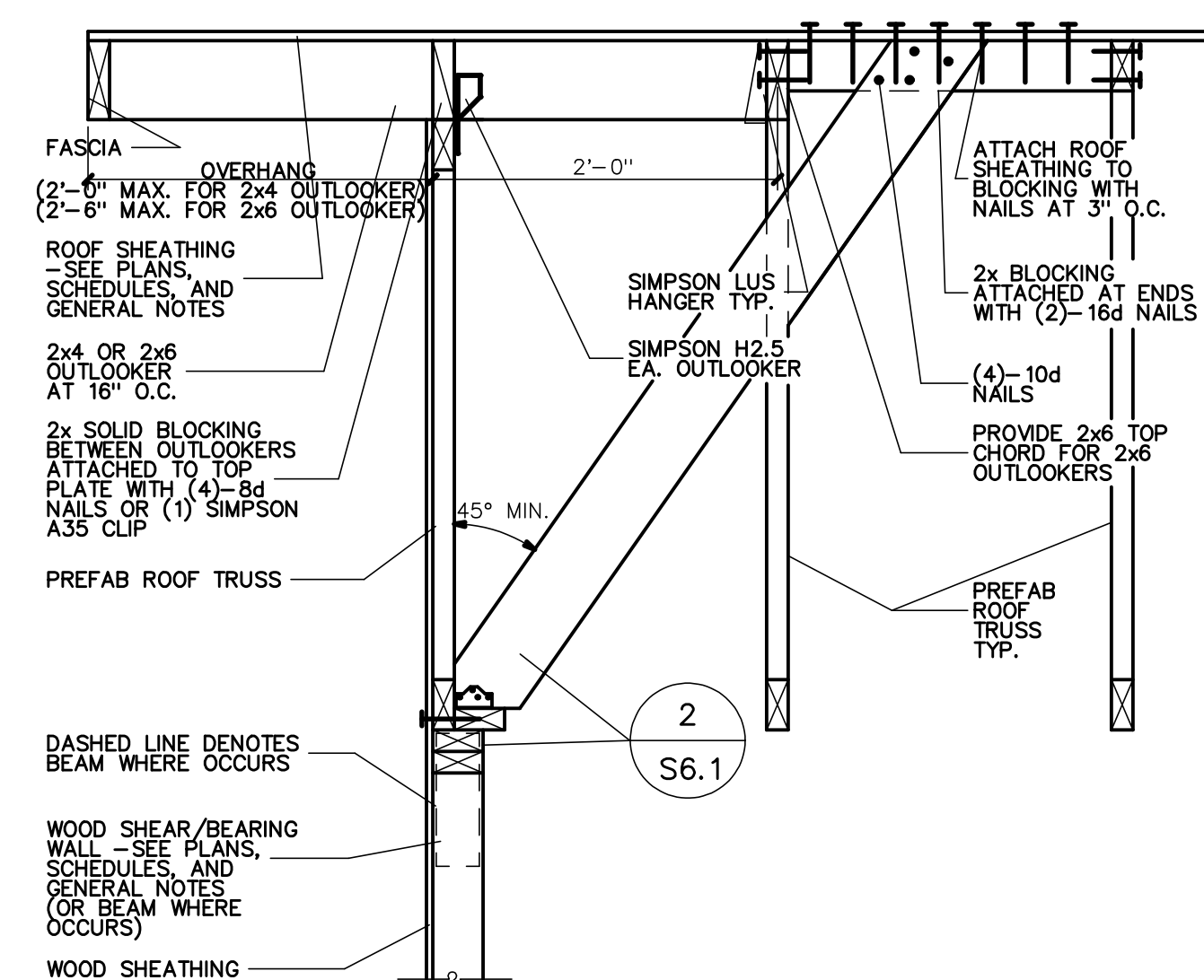
TRUSS TO BEARING/SHEAR WALL
NO SCALE

10
S6.2



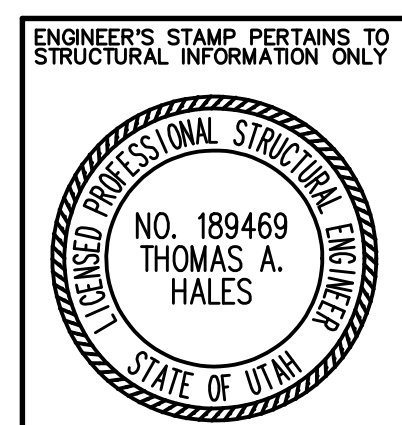
BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE

11
S6.2



GABLE END WALL WITH EXTENDED GABLE OVERHANG
NO SCALE

12
S6.2



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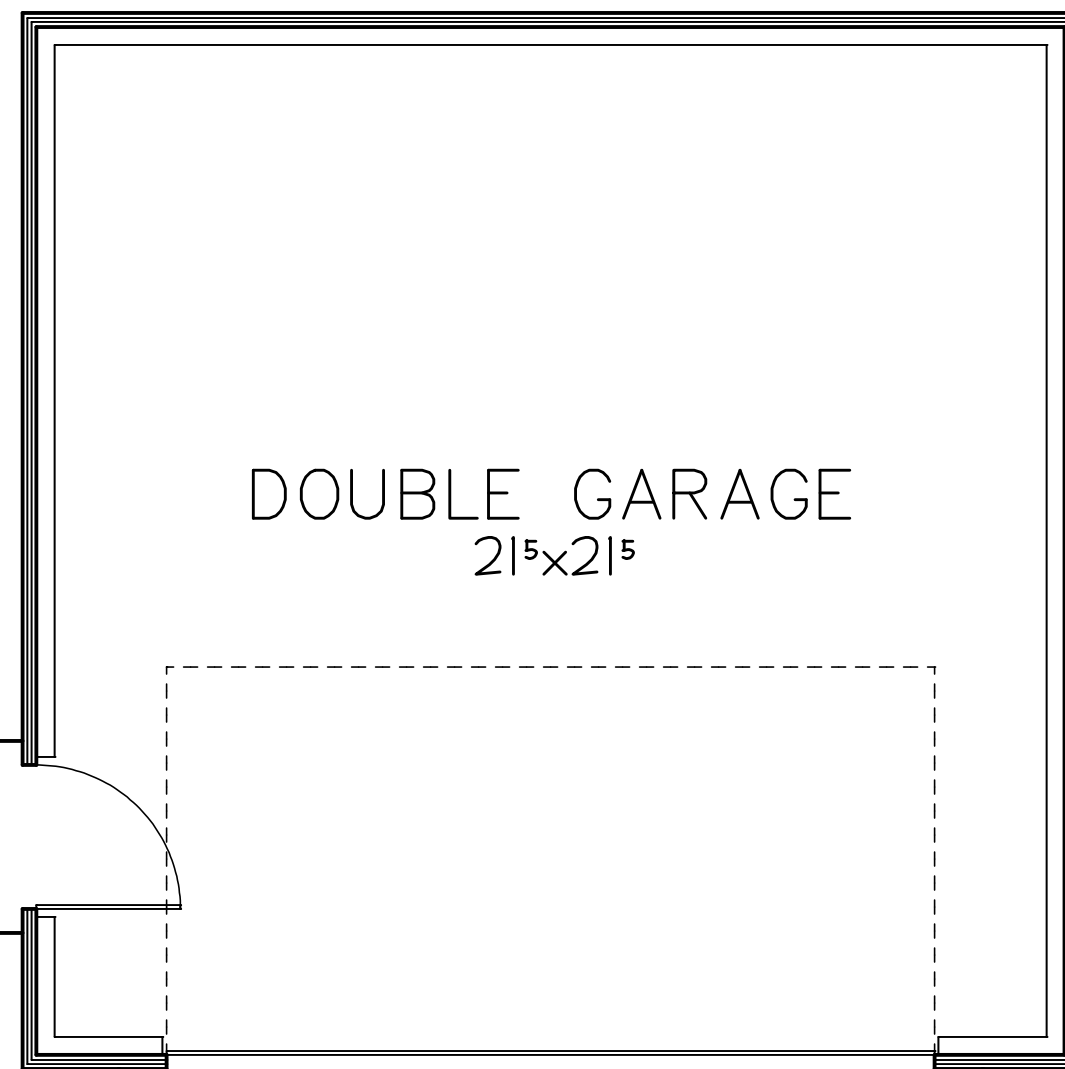
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S6.2

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DOUBLE GARAGE
21'5" x 21'5"

AREA = 484 SQ. FT.

METAL HOLDOWN SCHEDULE 1

MARK	SIMPSON HOLDOWN	ATTACHMENT	COMMENTS
LSTD8B OR LSTD8RJ (RIM JOIST)	(20)-16d SINKER NAILS	STD10, STD14, HT14, OR HDU4	STD10, STD14, HT14, OR HDU4 MAY BE USED IN LIEU OF LSTD8B
STD10 OR STD10RJ (RIM JOIST)	(28)-16d SINKER NAILS	STD14, HT14, OR HDU4	BE USED IN LIEU OF STD10
STD14 OR STD14RJ (RIM JOIST)	(30)-16d SINKER NAILS	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT	
HT14	(18)-16d NAILS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT	
HDU4	(10)-SDS1/4x2 1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 8" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT	
HDU5	(14)-SDS1/4x2 1/2 SCREWS WITH 5/8" DIA. A307 ALL-THREAD ROD EXPOSED 1" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT	
HDQ8	(20)-SDS1/4x3 SCREWS WITH 7/8" DIA. A307 ALL-THREAD ROD EXPOSED 1" MIN. INTO TOP OF FDN.	SEE DETAIL 3/S3.1 FOR EPOXY ATTACHMENT	

METAL HOLDOWN NOTES:
1. ALL HOLDOWNS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 4/S3.1.
2. USE RIM JOIST MODEL OF STRAP IF STRAP IS LOCATED AT A RIM JOIST, OTHERWISE, A NON-RIM JOIST MODEL MAY BE USED.

CONCRETE FOUNDATION WALL SCHEDULE

MARK	WIDTH ²	MAX. HEIGHT ^{2,4,5}	WALL REINFORCING		COMMENTS
			VERTICAL ⁶	HORIZONTAL ^{1,3}	
CFW2.ONR	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 18" O.C.	#4 AT 12" O.C.	SEE DETAIL 2/S3.1
CFW3.0	8" MIN.	MEET MIN. FROST DEPTH	#4 AT 24" O.C.	#4 AT 12" O.C.	SEE DETAIL 2/S3.1
CFW4.0	8" MIN.	4'-0"	#4 AT 24" O.C.	#4 AT 15" O.C.	
CFW6.0	8" MIN.	6'-0"	#4 AT 24" O.C.	#4 AT 18" O.C.	
CFW8.0	8" MIN.	8'-0"	#4 AT 24" O.C.	#4 AT 19" O.C.	
CFW9.0	8" MIN.	9'-0"	#4 AT 16" O.C.	#4 AT 18" O.C.	
CFW10.0	8" MIN.	10'-0"	#4 AT 9" O.C.	#4 AT 12" O.C.	

CONCRETE FOUNDATION WALL NOTES:
1. LOCATE A HORIZONTAL BAR WITHIN 4" OF TOP AND BOTTOM OF WALL.
2. WALL HEIGHT MAY BE INCREASED AS NEEDED WHERE FOOTINGS NEED TO BE DROPPED FOR FROST PROTECTION OR SOIL CONDITIONS. DO NOT EXCEED UNBALANCED WALL HEIGHT (HEIGHT BETWEEN LOW AND HIGH GRADE) DOES NOT EXCEED 12'. ADDITIONAL HORIZONTAL REBAR AS NEEDED TO NOT EXCEED SPACING SHOWN.
3. UNLESS NOTED OTHERWISE, PLACE HORIZONTAL REINFORCING IN THE CENTER OF THE WALL THICKNESS.
4. PROVIDE NOTCHES AND DROPS IN TOPS OF FOUNDATION AS NOTED ON PLANS AND WHERE REQUIRED FOR DOOR OPENINGS AND WHERE CONCRETE SLABS POUR OVER THE TOP OF FOUNDATION WALLS.
5. O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
6. PROVIDE VERTICAL REBAR DOWNELS TO MATCH VERTICAL WALL REBAR SIZE AND SPACING TO THE FTG. TO FDN. WALL.
7. SOIL BACKFILL SHALL BE COMPACTED TO SPECIFIED TYPES GW, GP, SW, OR SP PER IBC TABLE 1610.1. SOIL SHALL NOT BE SUBMERGED OR SATURATED IN GROUND WATER.
8. SEE PLAN FOR ACTUAL WALL WIDTH.

WOOD BEAM/HEADER SCHEDULE 4,6

MARK	SIZE ^{2,3}	COMMENT	MARK	SIZE ^{2,3}	COMMENTS
WB2/3-8DF	(2)-2x8 FOR 2x4 WALLS (3)-2x8 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12'-0" UNLESS NOTED OTHERWISE IN BASEMENTS WITH CEILING HEIGHTS LESS THAN 7'-0". USE WB2/3-10DF FOR CEILING HEIGHTS GREATER THAN 7'-0". USE WB2/3-10DF FOR DOUBLE TOP PLATE AS REQUIRED FOR WINDOW HEIGHTS - SEE DETAIL 10/S6.1	WB2-5.5LV	(2)-1.3/4"x5.1/2" LVL	
WB2/3-10DF	(2)-2x10 FOR 2x4 WALLS (3)-2x10 FOR 2x6 WALLS	USE FOR BEAM/HEADER SPANS UP TO 12'-0" UNLESS NOTED OTHERWISE - SEE NOTE 4 BELOW	WB2-7.25LV	(2)-1.3/4"x7.1/4" LVL	
WB2-6DF	(2)-2x6 DF#2	WB2-5.5LV MAY BE USED AS ALTERNATE	WB2-18LV	(2)-1.3/4"x18" LVL	
WB2-8DF	(2)-2x8 DF#2	WB2-7.25LV MAY BE USED AS ALTERNATE	WB3-5.5LV	(3)-1.3/4"x5.1/2" LVL	
WB2-10DF	(2)-2x10 DF#2	WB2-7.25LV MAY BE USED AS ALTERNATE	WB3-7.25LV	(3)-1.3/4"x7.1/4" LVL	
WB2-12DF	(2)-2x12 DF#2	WB2-9.5LV MAY BE USED AS ALTERNATE	WB3-9.5LV	(3)-1.3/4"x9.1/2" LVL	
WB3-6DF	(3)-2x6 DF#2	WB3-5.5LV MAY BE USED AS ALTERNATE	WB3-11.88LV	(3)-1.3/4"x11.7/8" LVL	
WB3-8DF	(3)-2x8 DF#2	WB3-7.25LV MAY BE USED AS ALTERNATE	WB3-14LV	(3)-1.3/4"x14" LVL	
WB3-10DF	(3)-2x10 DF#2	WB3-7.25LV MAY BE USED AS ALTERNATE	WB3-16LV	(3)-1.3/4"x16" LVL	
WB3-12DF	(3)-2x12 DF#2	WB3-9.5LV MAY BE USED AS ALTERNATE	WB3-18LV	(3)-1.3/4"x18" LVL	

WOOD BEAM NOTES:
1. BEAM MARKS WITH "DF" DESIGNATES THE USE OF DOUGLAS FIR-LARCH NO. 2 OR BETTER STANDARD LUMBER. BEAM MARKS WITH "LV" DESIGNATES THE USE OF ENGINEERED LUMBER WITH THE FOLLOWING MINIMUM PROPERTIES: $F_b = 2600$ psi, $F_v = 280$ psi, $E = 750$ psi, $E = 1.9x10^6$ psi.
2. 10" BEAM SIZES SHOWN ARE NOMINAL AND NOT ACTUAL BEAM DIMENSIONS. USE ACTUAL BEAM DIMENSIONS BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO CREATE A BEAM THICKNESS TO MATCH THE WALL THICKNESS.
3. MULTIPLE MEMBER BEAMS/HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS 12 IN. OR LESS. USE 3 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 IN.
4. CONTACT THE ENGINEER FOR BEAM/HEADER SIZES WITH SPANS GREATER THAN 5'-2" THAT ARE NOT NOTED ON THE DRAWINGS.
5. "FLUSH", WHEN NOTED ON PLANS, INDICATES TO PLACE THE BEAM SO THAT THE TOP AND/OR BOTTOM OF THE BEAM IS FLUSH WITH THE SUPPORTED FRAMING.
6. DO NOT USE LVL BEAMS WHERE THEY MAY BE EXPOSED TO WEATHER (E.G. DECK FRAMING).

SHEAR WALL SCHEDULE

WALL MARK	SHEAR WALL CONSTRUCTION		PANEL ATTACHMENT		WALL ANCHORAGE		COMMENTS
	PANEL MATERIAL	SIDES	PANEL EDGES	PANEL FASTENER	EDGE NAILING	FIELD NAILING	
SW1	1/2" GYPSUM WALLBOARD ⁴	BOTH SIDES	BLOCKED	NO. 6x1.1/4" SCREWS	4" O.C.	16" O.C.	16d NAILS
SW2	7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	4" O.C.	12" O.C.	32" O.C.
SW3	7/16" OSB SHEATHING ¹¹	BOTH SIDES	BLOCKED	8d NAILS	4" O.C.	12" O.C.	NON-RESIDENTIAL 32" O.C.
SW4	3/8" OR 7/16" OSB SHEATHING	ONE SIDE	BLOCKED	8d NAILS	6" O.C.	12" O.C.	NON-RESIDENTIAL 32" O.C.
SW5	7/16" OSB SHEATHING	BOTH SIDES	BLOCKED	SEE DETAIL 5/S3.1	SEE DETAIL 5/S3.1	SEE DETAIL 5/S3.1	SEE NOTE 8 BELOW

SHEAR WALL NOTES:
1. ANCHOR BOLTS SHALL HAVE 7" MIN. EMBEDMENT (ALL-THREAD EPOXY BOLTS W/ 7" MIN. EMBEDMENT MAY BE USED IN LIEU OF A.B. - SEE 3/S3.1)
2. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES FOR WALLS INDICATED TO BE "BLOCKED"
3. 8" OR 10" BEAM SIZES SHOWN ARE NOMINAL AND NOT ACTUAL BEAM DIMENSIONS. USE ACTUAL BEAM DIMENSIONS BASED ON STANDARD LUMBER. PROVIDE 1/2" PLYWOOD OR OSB BETWEEN INDIVIDUAL BEAM-PLYS TO CREATE A BEAM THICKNESS TO MATCH THE WALL THICKNESS.
4. USE 5/8" FIRE-RATED WALLBOARD WHERE REQUIRED FOR FIRE SEPARATION.
5. 3/8" OR 7/16" OSB SHEATHING SHALL BE USED IN LIEU OF GYPSUM WALLBOARD FOR ALL SHEAR/BRACED WALLS USING GYPSUM WALLBOARD NOTED ABOVE. ATTACH W/ 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. IN-FIELD. SOLID BLOCK.
6. OSB SHEATHING SHALL BE APA RATED (INT. GRADE WITH EXT. GLUE) WITH A MINIMUM 24/0 SPAN RATING.
7. USE 16d NAILS AT 4" O.C. WALL ANCHORAGE WHEN WALL RESTS ON WOOD FLOOR FRAMING AND NOT DIRECTLY ON FOUNDATION WALL OR FOOTING.
8. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED TO THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS (U.N.O.).
9. 16 GAGE STAPLES WITH 7/16" MIN. CROWN WIDTH AND 1" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR WALLS.
10. PROVIDE SHEATHING ON SIDE OF WALL WHERE MARK LABEL IS LOCATED.
11. WHEN PANELS ARE APPLIED ON BOTH FACES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS, OR FRAMING SHALL BE 3" NOMINAL OR THICKER AT ADJOINING PANEL EDGES AND NAILS ON EACH SIDE SHALL BE STAGGERED.

CONCRETE FOOTING SCHEDULE 1,2,3

MARK	WIDTH	LENGTH	THICK.	CROSSWISE REINFORCING			LENGTHWISE REINFORCING			
				NO.	SIZE	LENGTH	NO.	SIZE	LENGTH	
CONTINUOUS FOOTINGS										
FC1.5	1'-6"	CONT.	10"	N/A	N/A	N/A	N/A	2	#4	CONT. 12"
FC1.7	1'-8"	CONT.	10"	N/A	N/A	N/A	N/A	2	#4	CONT. 14"
FC2.0	2'-0"	CONT.	12"	N/A	N/A	N/A	N/A	3	#4	CONT. 9"
FC2.5	2'-6"	CONT.	12"	#4	2'-0"	18"	4	#4	CONT. 8"	
FC3.0	3'-0"	CONT.	12"	#4	2'-6"	18"	5	#4	CONT. 7.5"	
SQUARE FOOTINGS										
FS2.0	2'-0"	2'-0"	12"	3	#4	1'-6"	9"	3	#4	1'-6"
FS2.5	2'-6"	2'-6"	12"	4	#4	2'-0"	8"	4	#4	2'-0"
FS3.0	3'-0"	3'-0"	12"	5	#4	2'-6"	7.5"	5	#4	2'-6"
FS3.5	3'-6"	3'-6"	12"	5	#4	3'-0"	9"	5	#4	3'-0"
FS4.0	4'-0"	4'-0"	12"	6	#4	3'-6"	8.4"	6	#4	3'-6"
FS4.5	4'-6"	4'-6"	12"	7	#4	4'-0"	8"	7	#4	4'-0"
FS5.0	5'-0"	5'-0"	14"	8	#4	4'-6"	7.7"	8	#4	4'-6"

CONCRETE FOOTING NOTES:
1. PLACE ALL FOOTING REINFORCING IN BOTTOM OF FOOTING WITH 3" CLEAR CONCRETE COVER UNLESS NOTED OTHERWISE.
2. ALSO PROVIDE SCHEDULED REINFORCING AT TOP OF FOOTING WHEN NOTED ON PLANS.
3. FC - CONTINUOUS FOOTING; FS - SQUARE FOOTING

METAL CONNECTOR SCHEDULE

MARK	SIMPSON CONNECTOR	ATTACHMENT ¹	COMMENTS
A34	A34 ANCHOR	(8)-8d NAILS	
A35	A35 ANCHOR	(12)-8d NAILS	
CS14x40	CS14x40" LONG STRAP	FILL HOLES WITH 10d NAILS	
CS14x48	CS14x48" LONG STRAP	FILL HOLES WITH 10d NAILS	
CS16x40	CS16x40" LONG STRAP	FILL HOLES WITH 8d NAILS	
CS16x48	CS16x48" LONG STRAP	FILL HOLES WITH 8d NAILS	
DSCSR ²	DSCSR/A-SDS3 TWIST STRAP	(24)-SDS 1/4"x3"	
H1	H1 ANCHOR	(10)-8d NAILS	
HTS30C ²	HTS30C TWIST STRAP	(20)-10d NAILS	
LTP4	LTP4 ANCHOR	(12)-8d NAILS	
MST37	MST37 STRAP	(42)-16d NAILS	
MST48	MST48 STRAP	(34)-16d NAILS	
MSTA21	MSTA21 STRAP	(16)-10d NAILS	
MSTC48B3	MSTC48B3 STRAP	(54)-10d NAILS	SEE SIMPSON CATALOG
MST24C ²	MST24C TWIST STRAP	(14)-10d NAILS	
MST30C ²	MST30C TWIST STRAP	(14)-10d NAILS	

METAL CONNECTOR NOTES:
1. USE 2" LVL BEAMS WHEN INSTALLED IN 1.1/2" WOOD THICKNESS. OTHERWISE USE FULL LENGTH NAILS.
2. STRAP MAY REQUIRE BEING INSTALLED PRIOR TO INSTALLATION OF WALL SHEATHING, AND/OR ADJACENT FRAMING, AND/OR SETTING TRUSSES. COORDINATE AS NECESSARY.

GENERAL STRUCTURAL NOTES

I. CONCRETE, FOOTINGS, AND FOUNDATIONS:

- A. SOIL BEARING PRESSURE IS ASSUMED TO BE AT LEAST 1500 PSF BY OWNER. NOTIFY THE ENGINEER IF THE SOIL BEARING PRESSURE IS FOUND TO BE LESS THAN 1500 PSF.
- B. ALL FOOTINGS SHALL BE ESTABLISHED ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. ALL EXTERIOR FOOTINGS SHALL HAVE A MINIMUM DEPTH OF 30", OR THE LOCAL FROST DEPTH, WHICHEVER IS GREATER, BEFORE FINISHED GRADE.
- C. THE NATURAL UNDISTURBED SOIL BELOW ALL FOOTINGS SHALL BE VERIFIED FOR BEARING SUITABILITY. REMOVE ALL SOFT SPOTS AND REPLACE WITH COMPACTED STRUCTURAL FILL.
- D. COMPACTED STRUCTURAL FILL: ALL FILL MATERIAL SHALL BE A WELL-GRADED GRANULAR MATERIAL WITH A MAXIMUM SIZE LESS THAN 4" INCHES, AND WITH NOT MORE THAN 10 PERCENT PASSING A NO. 200 SIEVE. IT SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557. ALL FILLS SHALL BE TESTED. COMPACTED STRUCTURAL FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" INCHES IN UNCOMPACTED THICKNESS.
- E. ALL CONCRETE SLABS SHALL BE PLACED OVER 4" MINIMUM FREE DRAINING GRANULAR BASE OVER UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- F. SLABS ON GRADE SHALL HAVE CONTROL OR CONSTRUCTION JOISTS AS PER DETAILS.
- G. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS AND FOUNDATIONS SHALL BE 2500 PSI FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 3000 PSI FOR RESIDENTIAL STRUCTURES. USE 4000 PSI FOR SUSPENDED SLABS AND ALL OTHER CONCRETE.
- H. REINFORCEMENT STEEL SHALL BE GRADE 60 ($F_y = 60$ KSI).
- I. SUSPENDED SLABS AND ANY SUPPORTING STEEL BEAMS SHALL BE APPROPRIATELY FULLY SHORED 14 DAYS MINIMUM.
- J. AT CONTRACTOR'S AND/OR OWNER'S OPTION USE EPOXY COATED REBAR IN SUSPENDED SLABS FOR EXTENDED SLAB LIFE.
- K. EPOXY BOLTS SHALL BE ALL-THREAD GRADE A307 MIN. SMOOTH SHANK OR EXPANSION BOLTS (WEDGE ANCHORS) SHALL NOT BE USED.
- L. REINFORCEMENT STEEL SHALL MEET THE FOLLOWING CONCRETE COVER REQUIREMENTS:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ----- 3"
 - FORMED CONCRETE EXPOSED TO EARTH OR WEATHER ----- 1 1/2"
 - FORMED CONCRETE NOT EXPOSED TO EARTH OR WEATHER ----- 3/4"
- M. REINFORCEMENT STEEL SHALL HAVE THE FOLLOWING MINIMUM LAP SPLICE LENGTHS, UNLESS NOTED OTHERWISE ON DRAWINGS:
 - 30 BAR DIA. FOR #3 AND #4 BARS
 - 40 BAR DIA. FOR #5 THRU #8 BARS
- N. FOR ALL OPENINGS LESS THAN 6'-6" IN CONCRETE FOUNDATION WALLS, PROVIDE A DEEP CONCRETE HEADER WITH 2# BARS MINIMUM UNLESS NOTED OTHERWISE. EXTEND BARS 24" MINIMUM BEYOND EDGE OF THE OPENING AND PLACE BARS 2" ABOVE TOP OF OPENING. CONTACT THE ENGINEER FOR REINFORCING OR OPENINGS GREATER THAN 6'-6" IF NOT NOTED ON PLANS.
- O. FOUNDATION ANCHOR BOLTS SHALL BE 5/8" DIA. x12" MIN. FOR COMMERCIAL OR NON-RESIDENTIAL STRUCTURES AND 1/2" DIA. x10" MIN. FOR RESIDENTIAL STRUCTURES UNLESS NOTED OTHERWISE. SPACING OF ANCHOR BOLTS SHALL BE 12" O.C. MAX. WITH ONE LOCATED AT LEAST WITHIN 4" TO 12" OF EACH END OF SILL PLATE. SEE SHEAR WALL SCHEDULE FOR MORE STRINGENT ANCHOR BOLT REQUIREMENTS AT SPECIFIC SHEAR WALLS.
 - PROVIDE 7" MIN. EMBEDMENT INTO CONCRETE
 - USE 0.225" DIA. WASHERS AND BOLTS FOR PLATE ANCHORAGE.
 - EPOXY BOLTS MAY BE USED IN LIEU OF ANCHOR BOLTS (SEE DETAIL 3/S3.1).

II. WOOD FRAMING:

- A. MATERIALS:
 - 24G-V4 DF/DF
 - FRAMING LUMBER: DOUGLAS FIR-LARCH NO. 2 OR BETTER
 - SHEATHING: APA RATED (INT. GRADE WITH EXT. GLUE) AS FOLLOWS WITH THE FOLLOWING MINIMUM NAILING REQUIREMENTS, U.N.O. PLACE ROOF AND FLOOR SHEATHING IN STAGGERED LAYOUT.
 - ROOF: 5/8" THICK OSB PANELS WITH A 32/16 SPAN RATING (7/16" THICK PANELS WITH 24/16 SPAN RATING) MAY BE USED FOR RESIDENTIAL BUILDINGS WITH SNOW LOADS NOT MORE THAN 40 PSF. NAIL ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES, BLOCKED TRUSS JOIST DRUMS AND GABLE END WALLS/TRUSSES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS. (8d NAILS MAY BE USED WITH 7/16" PANELS).
 - FLOOR: 3/4" THICK TONGUE AND GROOVE OSB PANELS. GLUE AND NAIL ALL PANELS WITH 10d COMMON NAILS AT 6" O.C. AT ALL SUPPORTED EDGES AND BLOCKING AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PLACE PANELS WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS CONTINUOUS OVER TWO OR MORE SPANS.
 - WALLS: 7/16" THICK OSB PANELS. UNLESS NOTED OTHERWISE IN THE SHEAR WALL SCHEDULE, NAIL ALL PANELS WITH 8d COMMON WALL AT 4" O.C. AT ALL EDGES AND AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - 16 GAGE STAPLES WITH 7/16" MIN. CROWN WIDTH AND 1" MIN. PENETRATION INTO SUPPORTING FRAMING MEMBERS MAY BE USED IN LIEU OF NAILS AT A SPACING OF ONE-HALF THAT DESIGNATED FOR WALLS.
- B. PROVIDE SUPPORT STUDS AT THE ENDS OF ALL BEAMS, HEADERS, AND GRIDER TRUSSES AS FOLLOWS UNLESS NOTED OTHERWISE:
 - SPANS LESS THAN 3'-0": 2 SUPPORT STUDS MINIMUM
 - SPANS 3'-0" TO 10'-0": 2 SUPPORT STUDS MINIMUM
 - SPANS 10'-0" TO 14'-0": 3 SUPPORT STUDS MINIMUM
 - SPANS GREATER THAN 14'-0": 4 SUPPORT STUDS MINIMUM
- C. FOR SPANS OF 6'-0" AND GREATER, AT EXTERIOR WALLS, PROVIDE A MINIMUM OF 2 FULL HEIGHT KING STUDS (TOP PLATE TO BOTTOM PLATE) AT THE ENDS OF ALL BEAMS, UNLESS NOTED OTHERWISE. FOR SPANS LESS THAN 6'-0", PROVIDE A MINIMUM OF 1 FULL HEIGHT KING STUD.
- D. USE APPROPRIATE SIMPSON POST CAPS / PIES TO CONNECT BEAMS TO WOOD POSTS SHALL HAVE APPROPRIATE SIMPSON POST CAPS AND POST CONNECTORS INSTALLED GOOD FOR AT LEAST 800 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST 4" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS.
- E. USE APPROPRIATE SIMPSON HANGERS WHERE JOISTS AND BEAMS NEED TO HANG FROM SUPPORTING BEAMS. USE TOP FLANGE HANGERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- G. ALL METAL CONNECTORS, STRAPS, HOLDOWNS, HANGERS, ETC. CALLED OUT ON THE DRAWINGS SHALL BE INSTALLED WITH APPROPRIATE NAILS, SCREWS, BOLTS, ATTACHMENTS, ETC. AS PER THE MANUFACTURER'S RECOMMENDATIONS.

- H. 2-PLY AND 3-PLY MEMBER BEAMS AND HEADERS SHALL BE NAILED TOGETHER WITH A MINIMUM OF 2 ROWS OF 16d NAILS AT 12" O.C. FOR BEAM DEPTHS GREATER THAN 12 INCHES. 4-PLY MEMBER BEAMS SHALL HAVE 2 ROWS OF 1/2" DIA. THRU-BOLTS WITH WASHERS AT 12" O.C. IN ADDITION TO THE NAILING SPECIFIED ABOVE.
- I. BEARING AND EXTERIOR WALLS SHALL BE CARPED WITH DOUBLE TOP PLATES. END JOINTS OF SPLICES IN DOUBLE TOP PLATES SHALL BE ON AT LEAST 16" O.C. AND NAILED WITH 16d NAILS AT 4" O.C. WITHIN THE OVERLAPPED LENGTH. OVERLAP THE PLATES AT CORNERS AND AT INTERSECTIONS.
- J. EXTERIOR WALLS SHALL HAVE SHEATHING PROVIDED AND NAILED AS PER THE SHEAR WALL SCHEDULE AND FINISHES TO FUNCTION AS SHEAR OR BRACED WALLS.
- K. ALL BEARING, SHEAR, AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- L. ATTACH ALL ROOF TRUSSES AND RAFTERS TO ALL BEARING WALLS AND BEAMS WITH SIMPSON HT ANCHORS, UNLESS NOTED OTHERWISE. PROVIDE SOLID BLOCKING BETWEEN TRUSSES.
- M. UNLESS NOTED OTHERWISE ON DRAWINGS, NAILING OF ALL STRUCTURAL MEMBERS SHALL COMPLY WITH TABLES R602.3(1) TO R602.3(5).

III. PRE-FABRICATED WOOD TRUSSES:

- A. THE TRUSS MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND FABRICATION OF THE TRUSSES. THE TRUSSES SHALL BE DESIGNED TO MEET THE MINIMUM LOAD AND CODE REQUIREMENTS FOR THE GIVEN LOCALITY OF CONSTRUCTION AND SHALL BE APPROVED BY A LICENSED ENGINEER.
- B. IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.), NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- C. THE DESIGN AND BEARING OF TRUSSES SHALL BE COORDINATED WITH THE DRAWINGS. SEE WALL LEGEND ON SHEET S1.1 AND OTHER NOTES ON DRAWINGS FOR LOCATIONS OF BEARING WALLS, BEAM DEPTHS, AND OTHER BEARING WALLS.
- D. TRUSSES THAT EXTEND OUT OVER EXTERIOR BEARING WALL TO COVER A PORCH, DECK OR DECK SHALL BE DESIGNED TO BEAR ON THE EXTERIOR BEARING WALL TO TRANSFER LOAD AWAY FROM THE PORCH, PATIO, OR DECK BEAMS, UNLESS NOTED OTHERWISE.
- E. AT ROOF OVERBUILD AREAS PROVIDE OVERBUILD TRUSSES AS PER TRUSS MANUFACTURER OR STICK FRAME.
- F. TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLF MIN. IN-PLANE HORIZ. SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.
- G. SHOP DRAWING SUBMITTAL: CONTRACTOR SHALL SUBMIT COMPLETE CALCULATIONS AND SHOP DRAWINGS SHOWING PROPOSED TRUSS LAYOUT AND DESIGN TO BE REVIEWED BY THE ENGINEER BEFORE FABRICATION. THE REVIEW PERFORMED BY THE ENGINEER SHALL BE FOR GENERAL CONFORMANCE TO THE DESIGN CONCEPT, ONLY. CORRECTIONS OR COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THE CONTRACTOR OF COMPLIANCE WITH THE REQUIREMENTS OF THE PLANS OR OF THE TRUSS SPECIFICATIONS. ALSO, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY PROPOSED DEVIATIONS FROM THE DESIGN CONCEPT SHOWN IN THESE PLANS.

IV. STRUCTURAL STEEL:

- A. MATERIALS:
 - WIDE FLANGE SECTIONS: ASTM A572 (50 ksi)
 - TUBES: ASTM A500 (48 ksi)
 - PIPE COLLARS: TYPES E OR S, GRADE B
 - OTHER SHAPES AND PLATES: ASTM A36
 - FORMER CONNECTIONS: ASTM A500, ASTM A496
 - WELDED STUD ANCHORS (HS-A): ASTM A108
 - BOLTED CONNECTIONS: ASTM A325
 - ANCHOR BOLTS: ASTM A307
- B. FABRICATION AND CONSTRUCTION SHALL COMPLY WITH THE LATEST IBC AND AISC

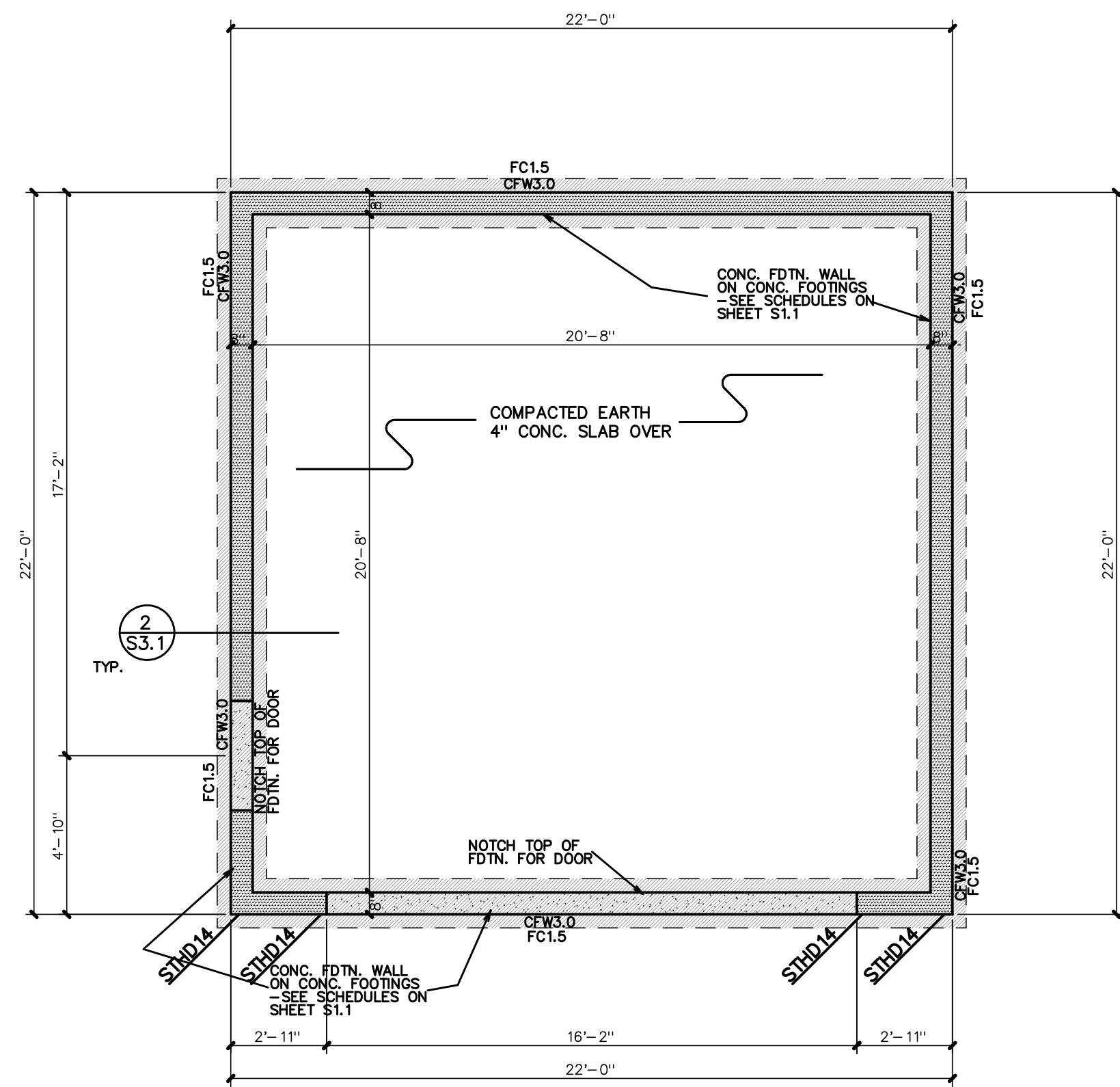
V. BRICK VENEER:

- A. BRICK VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES WHERE VENEER IS ANCHORED THROUGH THE USE OF CORRUGATED SHEET METAL TIES SHALL BE NO. 2 U.S. GAGE BY 8" MINIMUM AND THE DISTANCE SEPARATING THE VENEER FROM THE FACE OF THE SUPPORTING WALL SHALL BE MAXIMUM OF 1" INCH WHERE THE VENEER IS ANCHORED THROUGH THE USE OF METAL STRAND TIE TIES SHALL BE NO. 4 U.S. GAGE WIRE MINIMUM AND THE DISTANCE SEPARATING THE VENEER FROM THE FACE OF THE SUPPORTING WALL SHALL BE MAXIMUM OF 4.5 INCHES. TIES SHALL BE SPACED SO THEY INDIVIDUALLY SUPPORT NOT MORE THAN 2 SQUARE FEET OF VENEER AREA AND SHALL NOT BE SPACED MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY.
- B. SEE THE BRICK VENEER STEEL ANGLE LINTEL SCHEDULE FOR BRICK FOUNDATION OVER WALL OPENINGS.
- C. PROVIDE FOR BRICK OR STONE VENEER INSTALLATIONS AT THE FOUNDATION CORROSION RESISTANT FLASHING EXTENDING UP A MINIMUM OF 3 COURSES WITH 3/16" WEEP HOLES EVERY 6" AND SUCH FLASHING MUST EXTEND 1/2" BEYOND THE FOUNDATION. THIS FLASHING IS REQUIRED WHERE STUCCO WEEP SCREEDS DO NOT EXTEND PAST FOUNDATIONS. FLASHING WHICH DOES NOT EXTEND BEYOND OR BELOW THE FOUNDATION WILL NOT BE ACCEPTABLE. (ICE & WATER SHIELD OR SIMILAR MATERIALS).

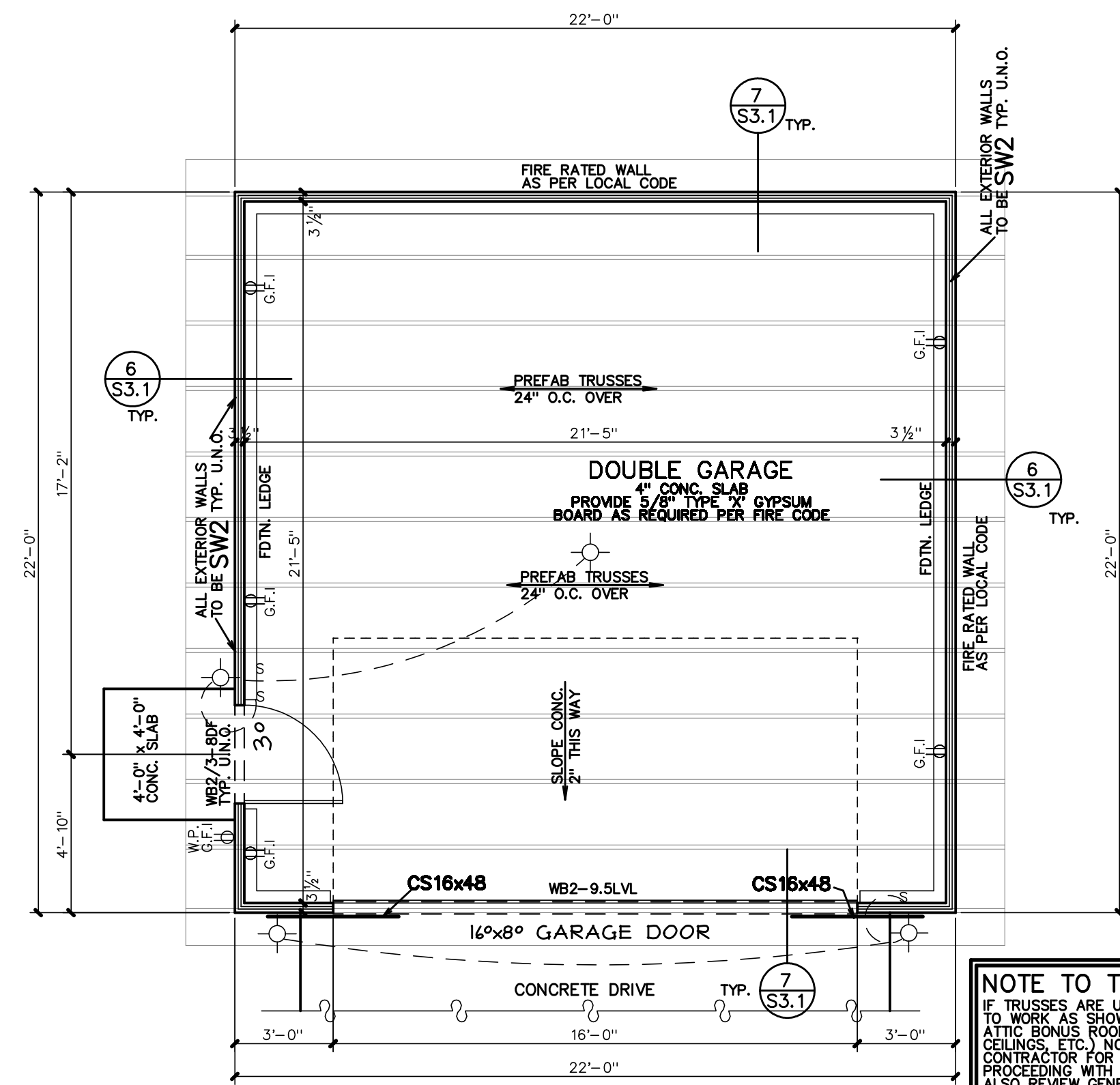
VI. SPECIAL NOTES:

- A. ALL WORK IS TO BE CONSISTENT WITH BEST BUILDING PRACTICES AND CONFORM TO LOCAL BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING CONSTRUCTION.
- B. THE OWNER AND ALL CONTRACTORS INVOLVED WITH THE PROJECT SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- C. ALL OMISSIONS OR CONFLICTS, INCLUDING DIMENSIONS, BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS, DETAILS, AND/OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN CASE OF CONFLICT, FOLLOW THE MOST STRINGENT REQUIREMENT SHOWN.
- D. COPYRIGHT NOTICE: THESE DRAWINGS, PLANS, DETAILS, SCHEDULES, AND NOTES ARE COPYRIGHTED BY THE DESIGNER AND ENGINEER. ALL RIGHTS RESERVED. THESE DOCUMENTS SHALL NOT BE REPRODUCED, OR COPIED, IN WHOLE OR IN PART.

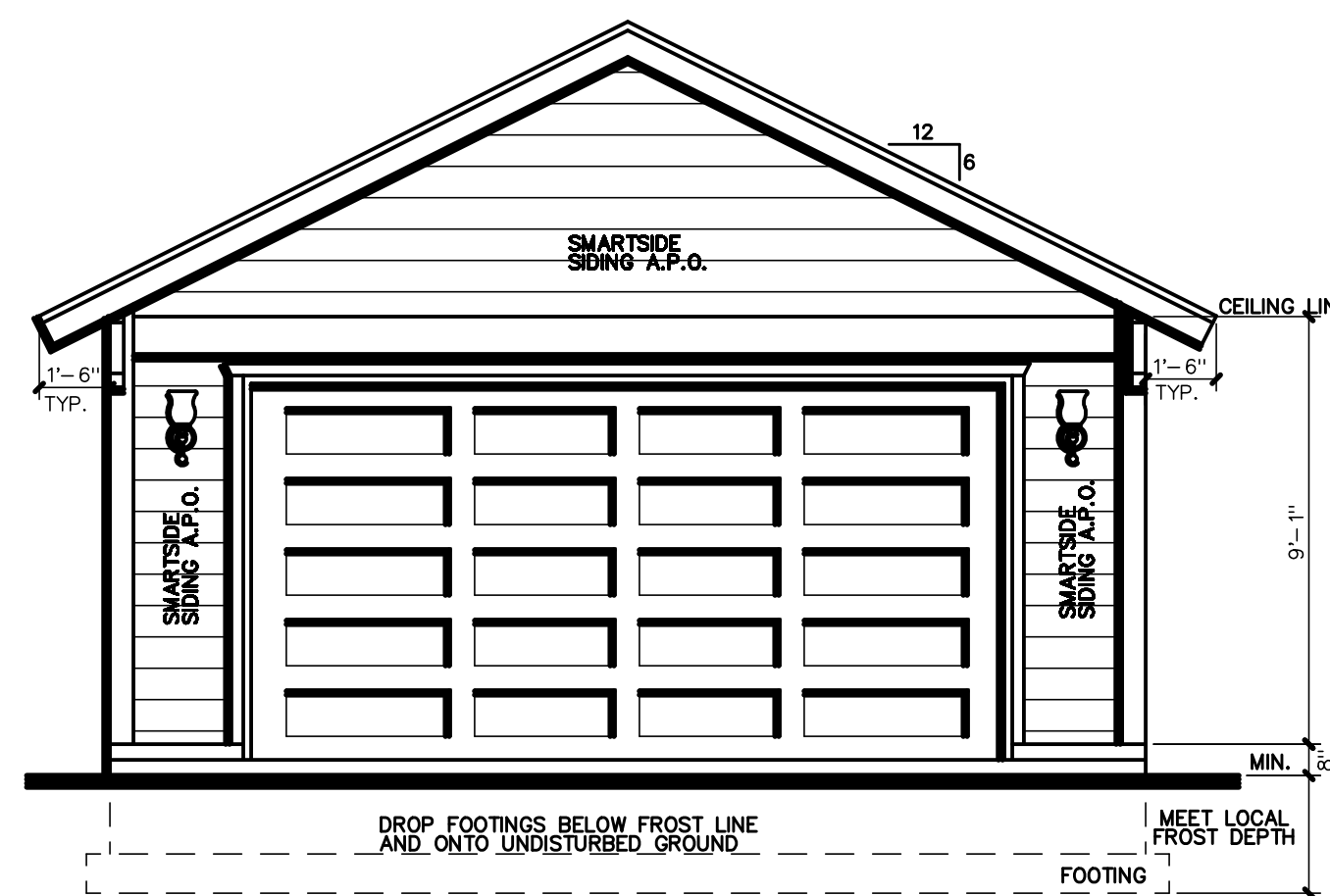
VII. ADDITIONS AND REMODELS:



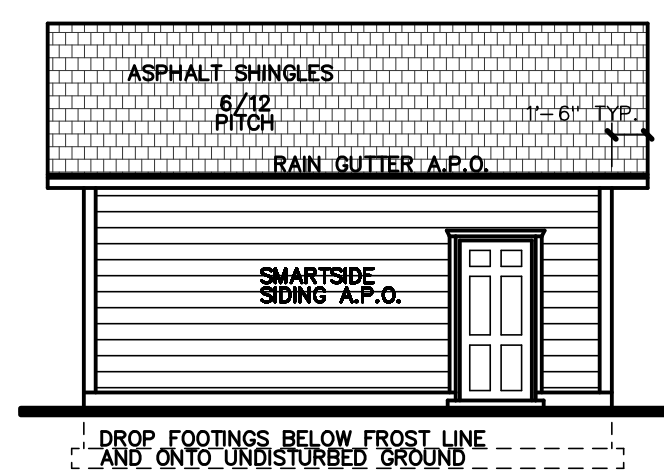
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



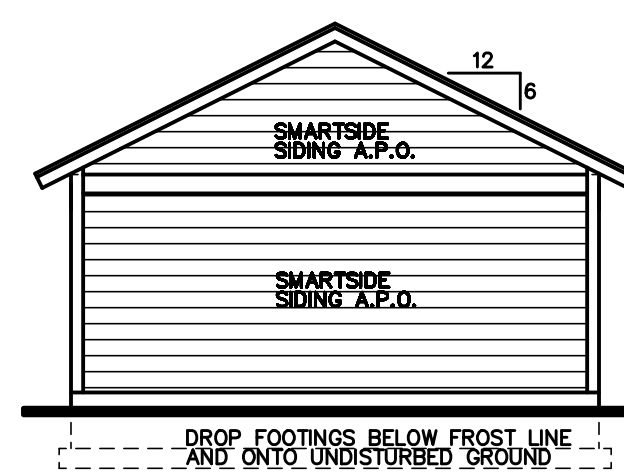
MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"
GARAGE AREA = 484 SQ. FT.



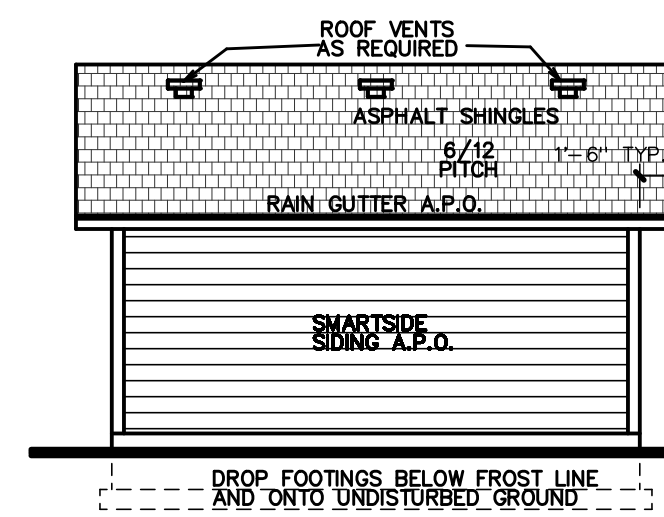
FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"



RIGHT ELEVATION
SCALE: 1/8"=1'-0"

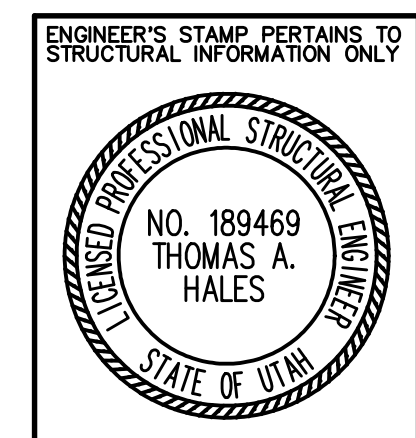
NOTES TO FOUNDATION PLAN:

- SEE GENERAL NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0
- FOOTINGS: SEE THE GENERAL NOTES, THE CONCRETE FOOTING SCHEDULE, AND THE DETAILS ON SHEET S3.1 FOR ADDITIONAL INFORMATION. FOOTINGS SUPPORTING CONCRETE FOUNDATION WALLS SHALL BE A FC2.0 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING INTERIOR WOOD BEARING WALLS SHALL BE A FC1.5 FOOTING UNLESS NOTED OTHERWISE. FOOTINGS SUPPORTING A COV. PATIO/DECK POST SHALL BE A FC3.0 FOOTING UNLESS NOTED OTHERWISE. SEE DETAIL 1/S3.1 FOR FOOTING CORNERS AND INTERSECTIONS.
- FOUNDATION WALLS: SEE THE GENERAL NOTES, THE CONCRETE FOUNDATION WALL SCHEDULE AND THE DETAILS ON SHEET S3.1 FOR ADDITIONAL INFORMATION. REINFORCING SHALL BE BASED ON THE FOUNDATION WALL HEIGHT AS DESIGNATED IN THE SCHEDULE. CONTACT THE DESIGNER FOR FOUNDATION WALLS WITH HEIGHTS (HEIGHT BETWEEN LOW AND HIGH GRADE) GREATER THAN THAT SHOWN IN THE SCHEDULE. SEE DETAIL 1/S3.1 FOR FOUNDATION WALL CORNERS AND INTERSECTIONS. FOUNDATION WALLS SHALL NOT BE BACKFILLED UNTIL THE FLOORS ARE PROPERLY INSTALLED TO PROVIDE ADEQUATE BRACING. SOIL USED FOR BACKFILL SHALL CONFORM TO THAT SPECIFIED IN THE CONCRETE FOUNDATION WALL SCHEDULE.
- ANCHOR BOLTS: SEE THE GENERAL NOTES AND SHEAR WALL SCHEDULE ON SHEET S1.1 FOR FOUNDATION ANCHOR BOLT REQUIREMENTS.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- WOOD POSTS: ALL WOOD POSTS SHALL HAVE APPROPRIATE SIMPSON POST CAPS AND BASE CONNECTORS INSTALLED GOOD FOR AT LEAST 900 POUNDS UPLIFT. WOOD POSTS INSTALLED ON CONCRETE SHALL HAVE AT LEAST A 1" STANDOFF BASE. WHERE POSTS ARE INSTALLED ON CONC. PIERS OR FOOTINGS.
- HOLD-DOWNS: SEE THE METAL HOLD-DOWN SCHEDULE ON SHEET S1.1 AND DETAIL 7/S3.1 FOR ADDITIONAL INFORMATION. PROVIDE HOLD-DOWNS AS NOTED ON THE DRAWINGS. USE RIM JOIST VERSION OF STRAP WHEN LOCATED AT RIM JOIST. FOR MISSED OR MISPLACED HOLD-DOWNS USE AN ALTERNATE HOLD-DOWN STRAP AS NOTED IN THE COMMENTS COLUMN OF THE METAL HOLD-DOWN SCHEDULE.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- POISON SOIL: FOR TERMITE CONTROL AS PER LOCAL CODE REQUIREMENTS.

NOTES TO FLOOR PLAN:

- SEE GENERAL NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS. THIS PLAN IS TO BE WORKED ALONG WITH THESE OTHER SUPPORTING SHEETS. THE OWNER AND CONTRACTOR SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- WALLS: 2x4 WALLS ARE SHOWN WITH A 3 1/2" THICKNESS AND 2x6 WALLS ARE SHOWN WITH A 5 1/2" THICKNESS. ALL BEARING, SHEAR AND BRACED WALLS SHALL HAVE STUDS PLACED AT 16" O.C. MAXIMUM, UNLESS NOTED OTHERWISE.
- SHEAR WALLS: SEE THE SHEAR WALL SCHEDULE FOR ADDITIONAL INFORMATION. ALL EXTERIOR WALLS SHALL BE A SW2 TYPE SHEAR WALL UNLESS NOTED OTHERWISE. TO HELP RESIST SEISMIC/WIND FORCES, ALL SHEAR WALLS SHALL BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. WALLS NOTED AS "BRACED WALLS" SHALL BE A SW1 SHEAR WALL TYPE.
- BEARING AND EXTERIOR WALLS: ALL BEARING AND EXTERIOR WALLS SHALL CONSIST OF FULL HEIGHT STUD FRAMING AND BE ATTACHED AT THE TOP AND BOTTOM BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. ALL BEARING WALL OPENINGS SHALL HAVE A HEADER PROVIDED AS NOTED ON THE PLANS.
- WOOD BEAMS AND HEADERS: UNLESS SPECIFICALLY CALLED OUT ON THE DRAWING, SEE THE WOOD BEAM/HEADER SCHEDULE FOR SIZES AND ADDITIONAL INFORMATION. CONTACT THE DESIGNER FOR WOOD BEAMS OR HEADERS NOT DESIGNATED ON PLANS THAT HAVE A SPAN GREATER THAN 5'-2". SEE THE WOOD BEAM/HEADER SCHEDULE FOR SPANS UP TO 5'-2" THAT ARE NOT NOTED OTHERWISE ON THE PLANS.
- METAL CONNECTORS: PROVIDE METAL CONNECTORS AS NOTED ON THE DRAWINGS. SEE THE METAL CONNECTOR SCHEDULE ON SHEET S1.1 FOR ADDITIONAL INFORMATION.
- TRUSS FABRICATION: IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK WITH THE LAYOUT AS SHOWN IN THE DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED CEILING, RAISED CEILING, ETC.) NOTIFY THE DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.
- TRUSS RAFTER AND ROOF FRAMING: ALL TRUSSES AND RAFTERS SHALL BE SUPPORTED AT BEARING POINTS BY ONE OF THE METHODS SHOWN IN THE DETAILS ON SHEET S3.1, U.N.O. AT FOOT OVERBUILD AREA, PROVIDE OVERBUILD TRUSSES OR STICK FRAME.
- TRUSS DRAG STRUTS: TRUSSES NOTED AS DRAG STRUTS SHALL BE DESIGNED FOR A 200 PLS. MIN. IN-PLANE HORIZONTAL SEISMIC LOAD APPLIED AT THE TRUSS TOP CHORD UNLESS NOTED OTHERWISE.
- PROVIDE ATTIC VENTILATION AND ATTIC ACCESS AS PER LOCAL CODE
- PROVIDE 5/8" TYPE "X" FIRE RATED GYPSUM BOARD AT AREAS AS REQUIRED BY LOCAL FIRE CODE.
- WINDOW FRAMING: ALL OPENABLE WINDOWS THAT HAVE A WINDOW SILL LOCATED MORE THAN 72" ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW SHALL BE PLACED SO THAT THE WINDOW SILL IS AT LEAST 24" ABOVE THE INTERIOR FINISHED FLOOR OR SHALL HAVE A WINDOW GUARD PROVIDED AS PER CODE. ALL WINDOWS USED FOR EGRESS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISHED FLOOR.
- PROVIDE R-13 INSULATION MINIMUM IN 2x4 EXTERIOR WALLS, AND R-19 INSULATION MINIMUM IN 2x6 EXTERIOR WALLS. PROVIDE R-26 INSULATION MINIMUM AT ALL INTERIOR TRUSS ATTIC SPACES AND RAFTER FRAMING.

NOTE TO TRUSS COMPANY:
IF TRUSSES ARE UNABLE TO BE DESIGNED TO WORK AS SHOWN IN DRAWINGS (INCLUDING ATTIC BONUS ROOMS, VAULTED AND RAISED CEILING, ETC.) NOTIFY DESIGNER AND CONTRACTOR FOR RESOLUTION BEFORE PROCEEDING WITH FABRICATION OF TRUSSES. ALSO REVIEW GENERAL NOTES AND ALL OTHER APPLICABLE NOTES AND DETAILS BEFORE PROCEEDING WITH FABRICATION OF TRUSSES.



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THESE DRAWINGS & DESIGNS MAY BE USED FOR THE CONSTRUCTION OF A SINGLE BUILDING LOCATED AS FOLLOWS:
LOT #: _____
SUBDIVISION: _____
ADDRESS: **2210 JEFFERSON**
CITY: **OGDEN** STATE: **UTAH**
DATE: **12/18/2019**
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DESIGN LOADS
ROOF: SNOW - 30 psf
DEAD - 17 psf
CONTRACTOR/OWNER SHALL VERIFY ACCURACY OF SNOW LOADS WITH BUILDING OFFICIAL (NO CITY-CRETE OR LIGHTNING LOADS HAVE BEEN INCLUDED IN THE FLOOR DESIGN).

THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED WITH THE ASSUMPTION THAT THE CONTRACTOR WILL HAVE A THOROUGH KNOWLEDGE OF THE APPLICABLE BUILDING CODES AND REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE NECESSARY FOR THE PROPER AND EFFICIENT CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SUPPLYING ALL MATERIALS, METHODS, CONNECTIONS AND JOINTS OF WHATEVER NATURE, TYPE, SIZE AND SPECIFICATION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES OR OMISSIONS OF THESE DRAWINGS.

CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

OGDEN CITY DOUBLE GARAGE

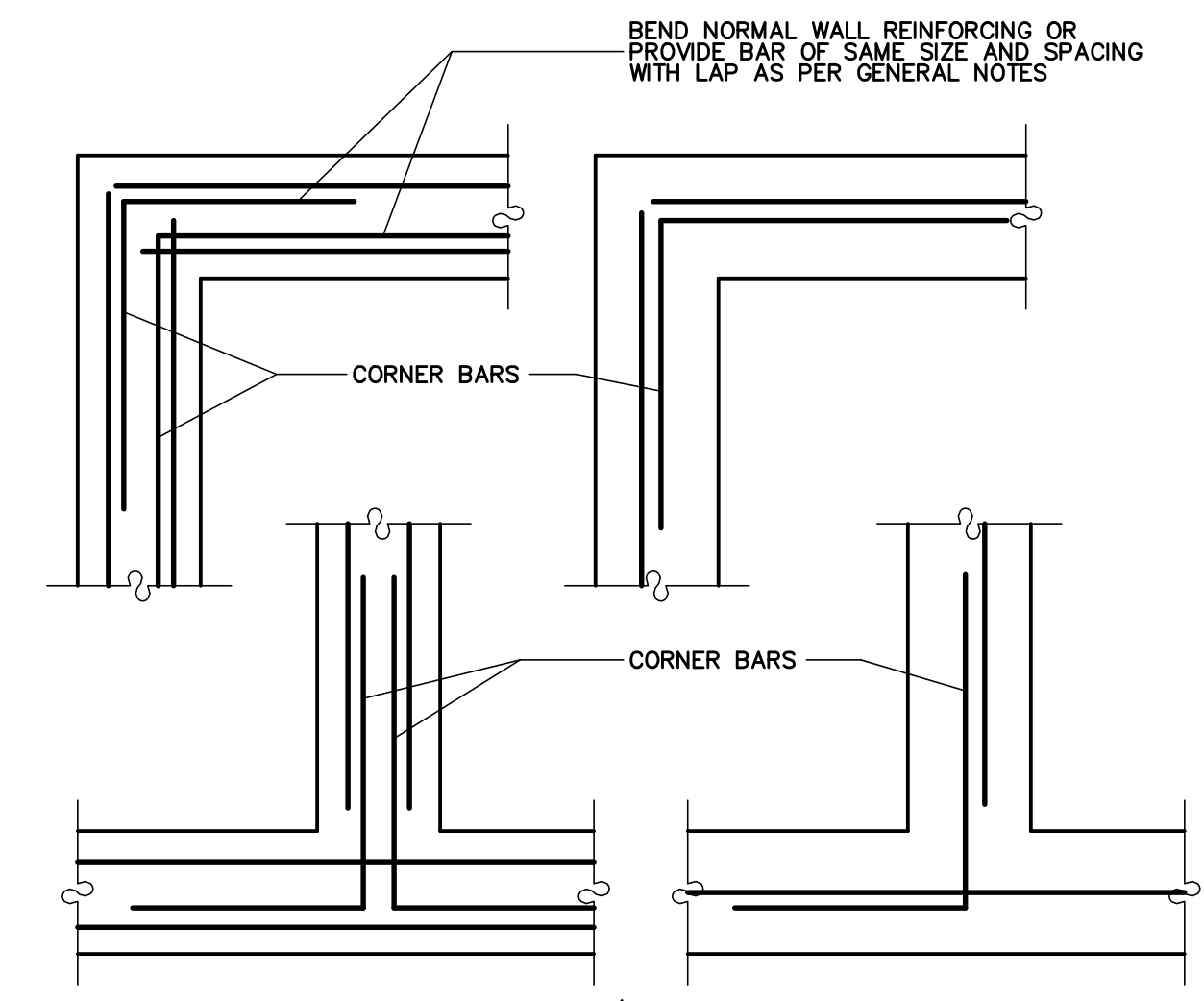
FOR: 304 WEST PLEASANT VIEW DR. OGDEN, UTAH 84414
PHONE: (801) 782-0484
FAX: (801) 782-8631
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Lomond View DESIGN

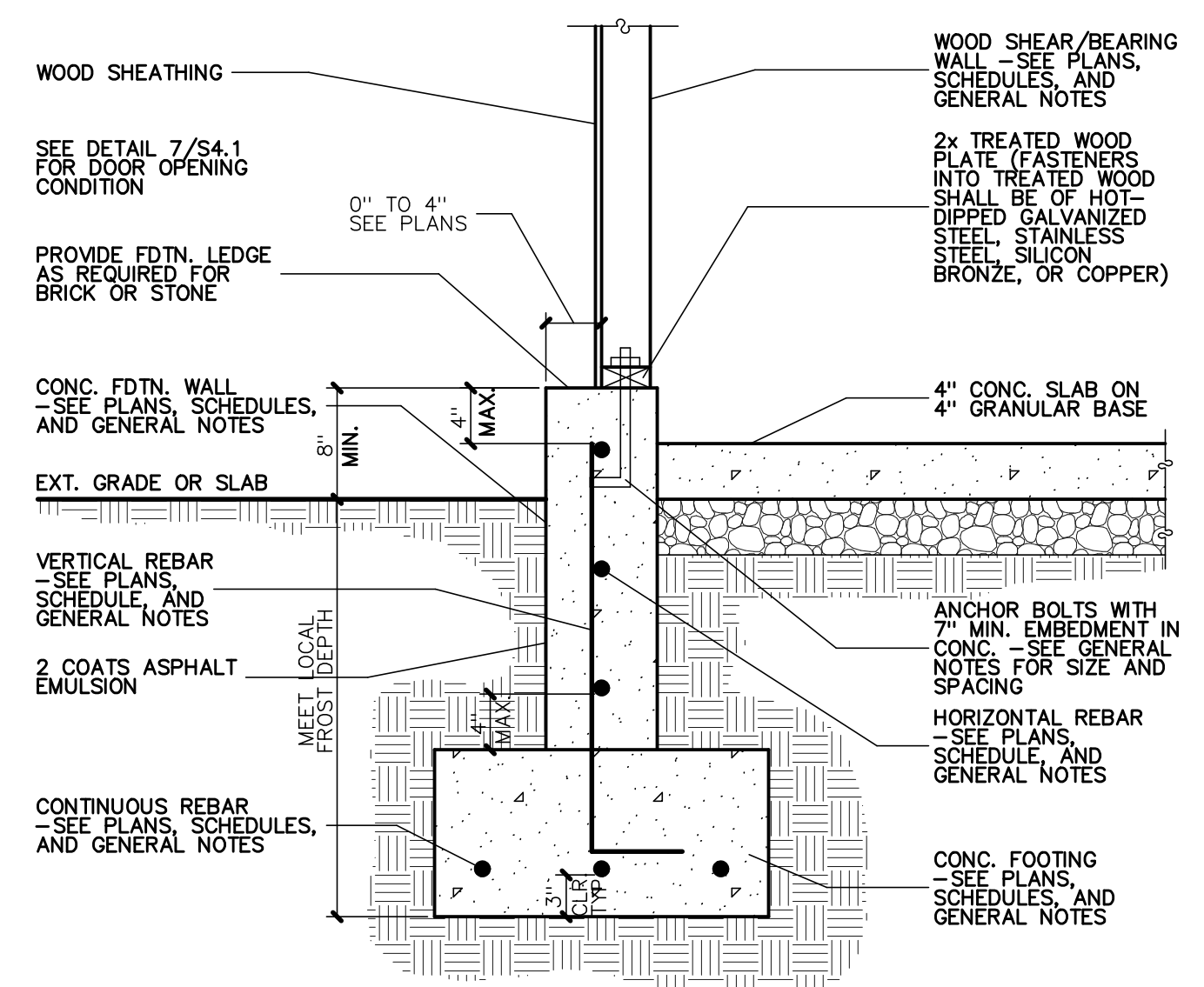
PLANS AND ELEVATIONS

DATE: 12/18/2019
DRAWN: TJH
JOB NO.: 19108
CHANGES TO: 0484181106, #18122
PLAN INFO: 484 SQ. FT. GARAGE

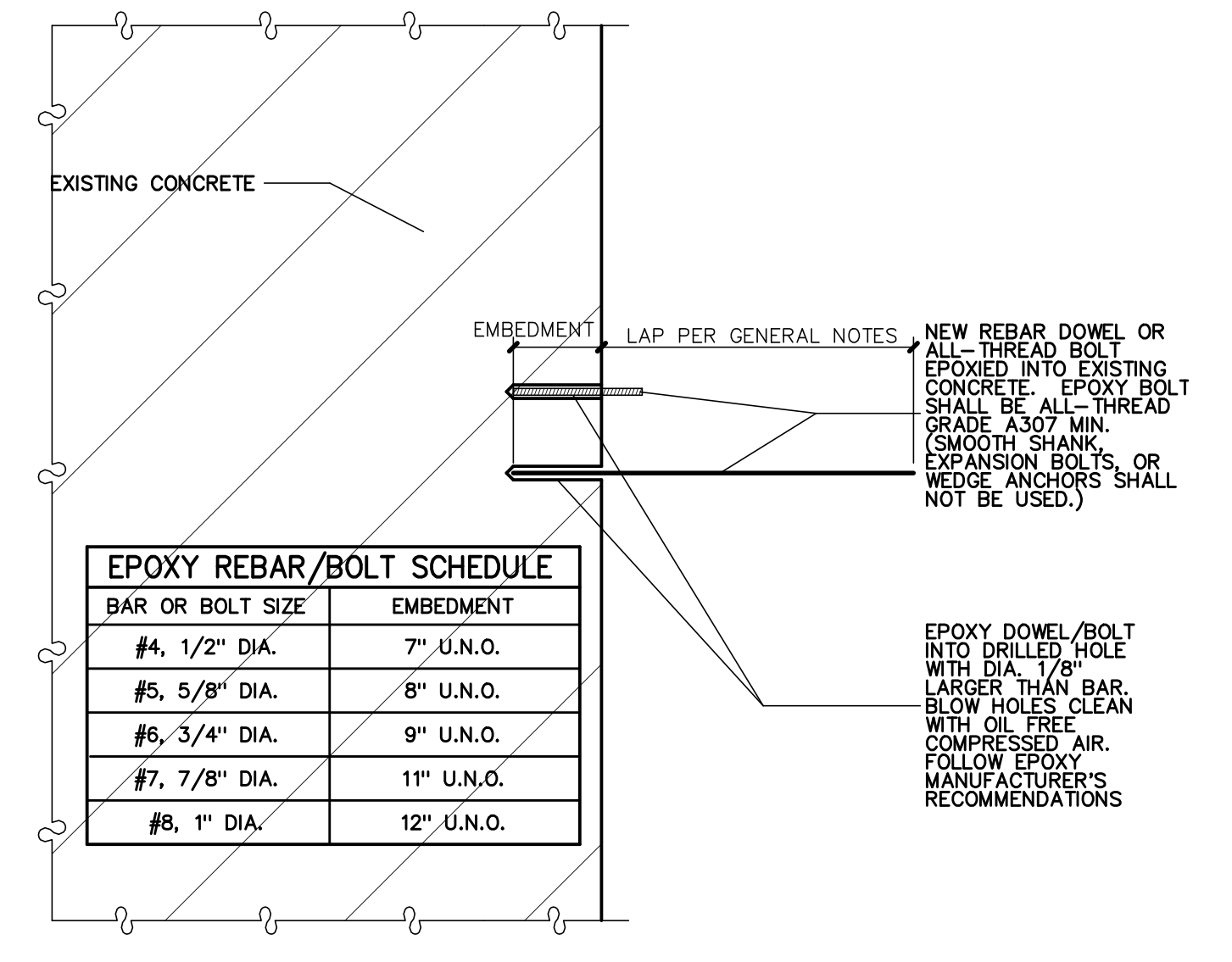
S2.1



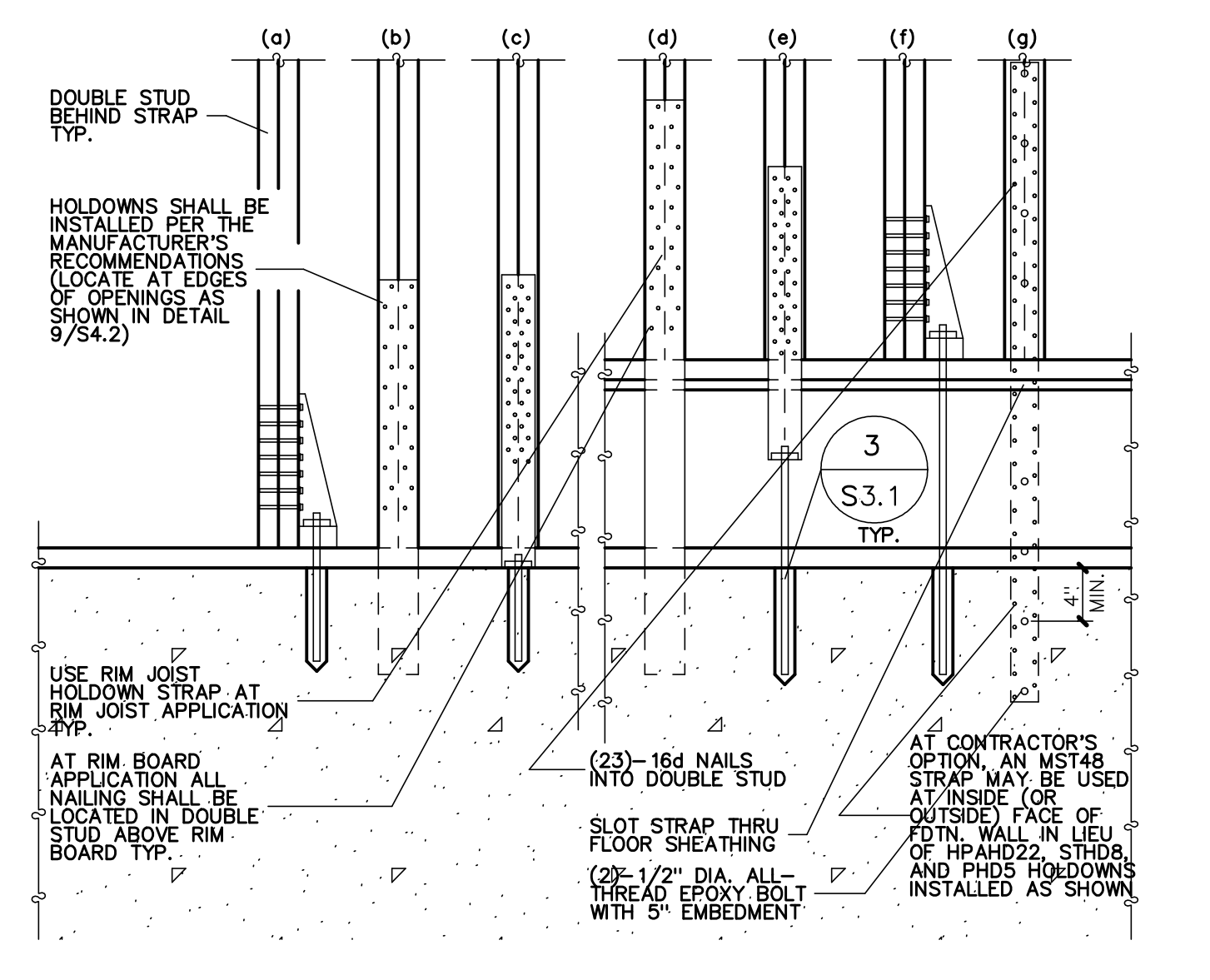
CONC. FOUNDATION WALL/FOOTING CORNERS AND INTERSECTION
NO SCALE



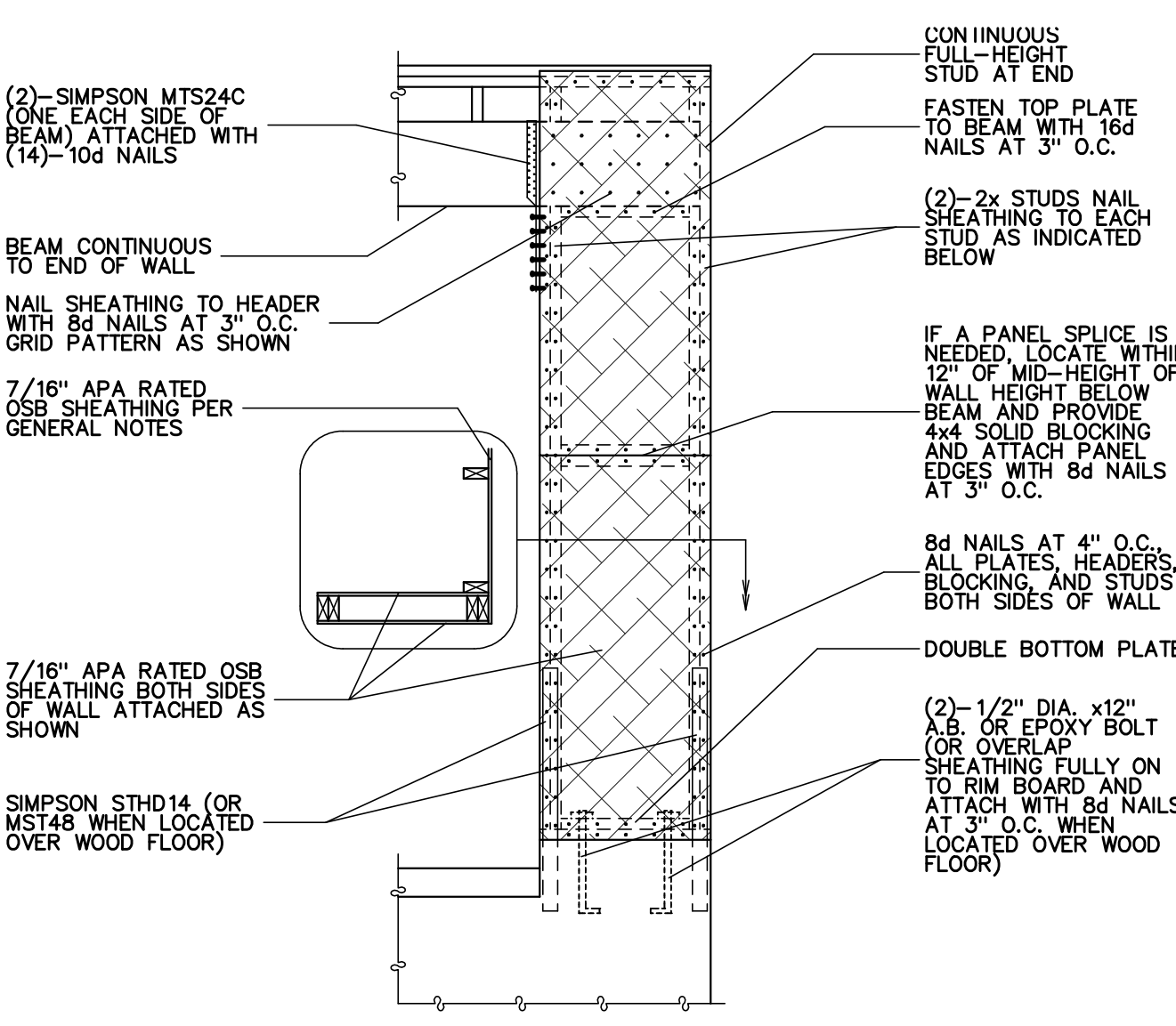
GARAGE FOUNDATION WALL ON FOOTING
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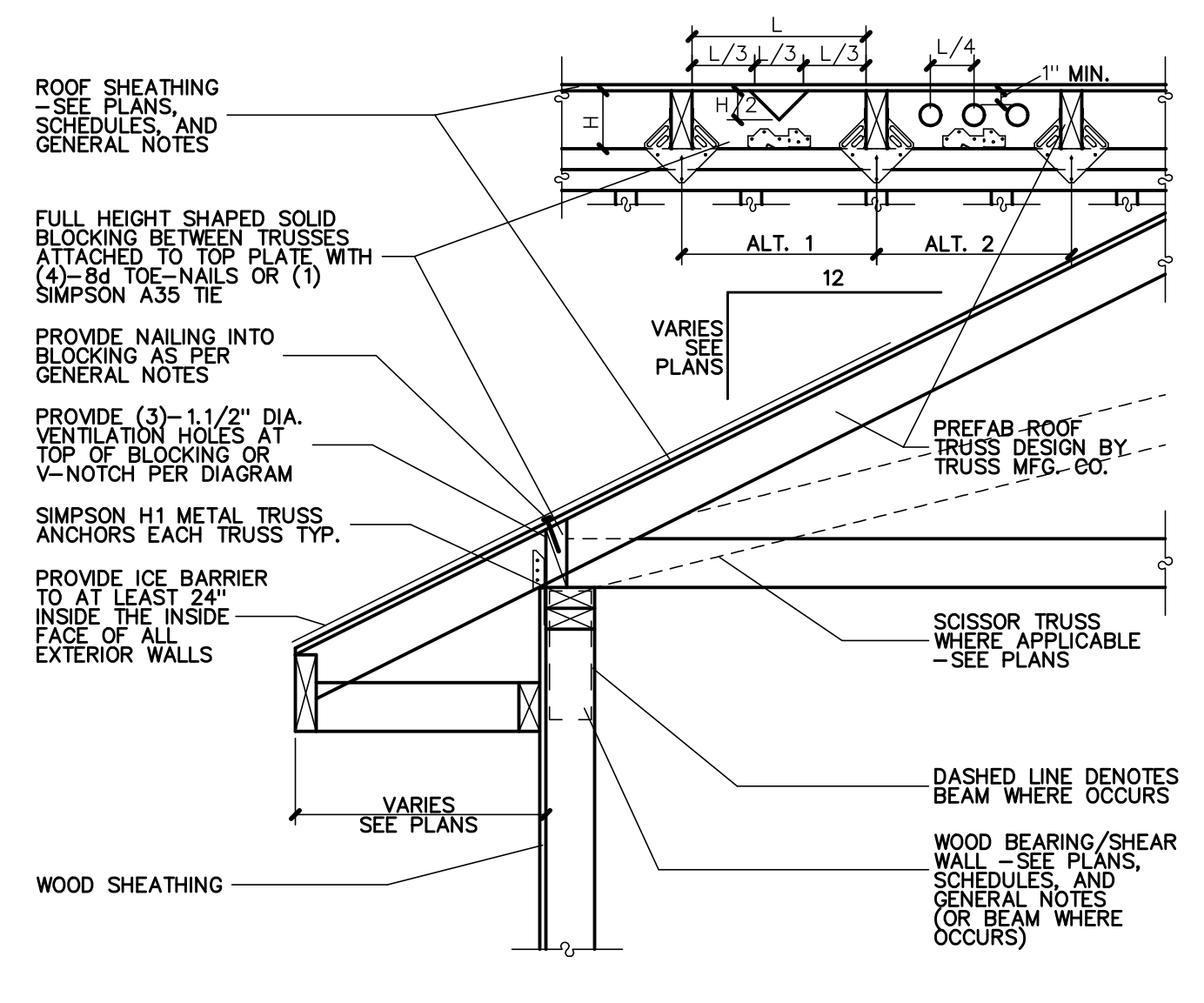
EPOXY REBAR DOWEL SCHEDULE
NO SCALE



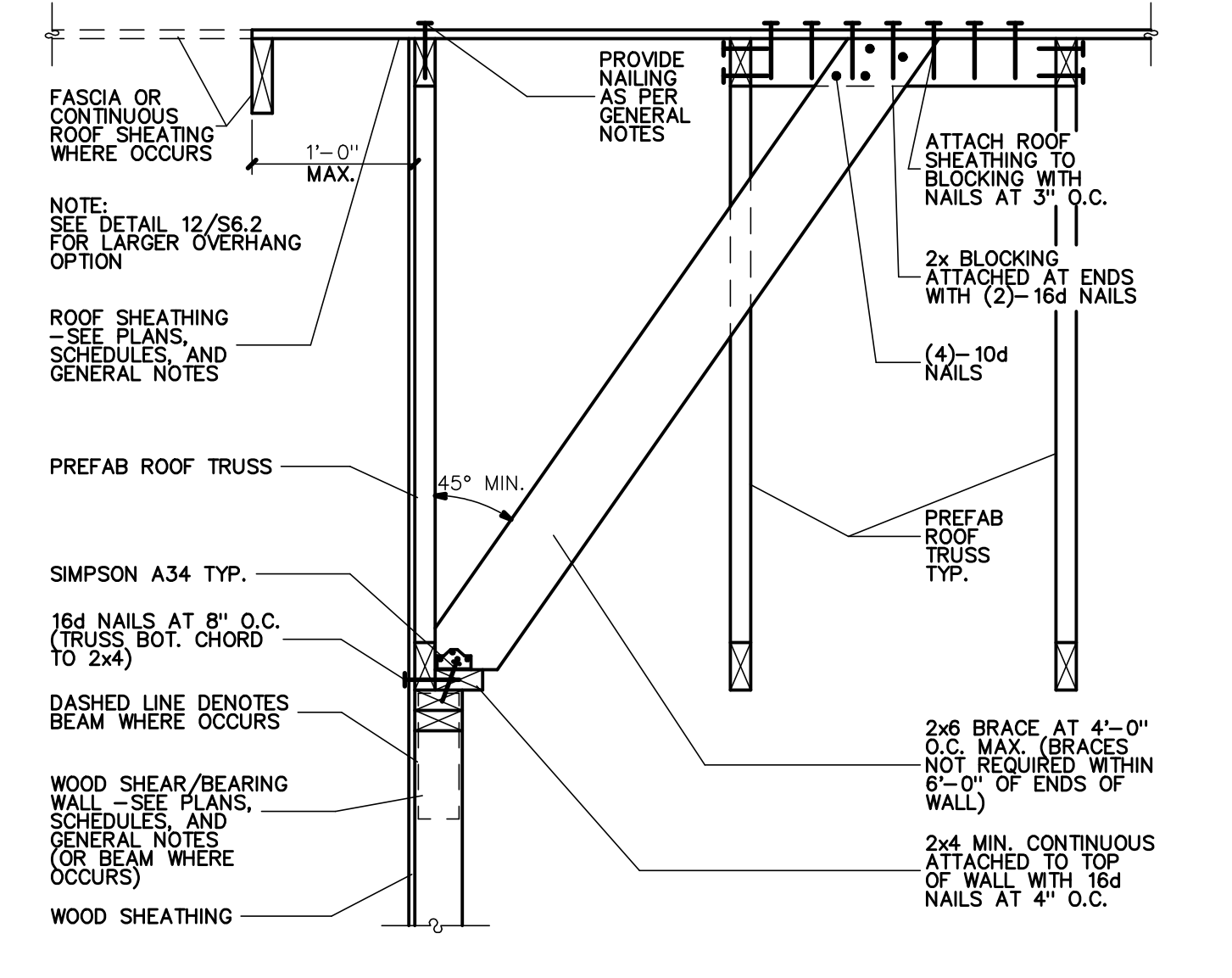
HOLDOWN INSTALLATION
NO SCALE



SHEAR WALL EACH SIDE OF GARAGE DOOR
NO SCALE



BEARING/SHEAR WALL AT ROOF TRUSSES
NO SCALE



GABLE END WALL
NO SCALE

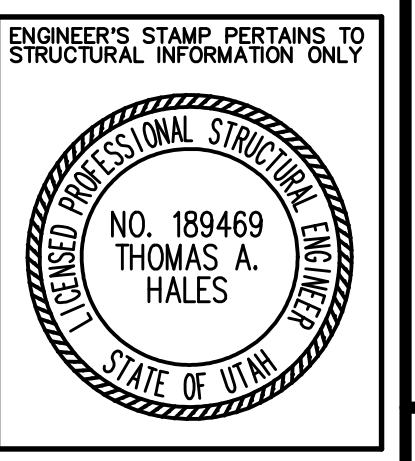
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FOR: **OGDEN CITY DOUBLE GARAGE**
2210 JEFFERSON
OGDEN, UTAH

304 WEST PLEASANT VIEW DR.
OGDEN, UTAH 84414
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DETAILS
DRAWN: TJH
DATE: 12/18/2019
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CONTRACTOR & OWNER SHALL VERIFY ALL DIMENSIONS, AREAS, AND CONDITIONS, READ ALL NOTES AND BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS PRIOR TO CONSTRUCTION.

NOTE: ALL DETAILS SHOWN ON THIS SHEET ARE NOT NECESSARILY USED ON THIS JOB -- SEE SHEETS S1.1 THRU S3.2 FOR REFERENCES TO DETAILS

2343 Quincy Ave Cost Breakdown

LINE	DIV.		COST
1	1	Building Permits	5,000.00
2	1	Bond	
3	1	Builders Risk Insurance	
4	2	Engineering (Property Survey)	
5	2	Demolition	
6	2	SWPPP	
7	2	Temporary Utilities	
8	2	Grading & Excavation	
9	2	Utility Connections	
10	2	Gravel, Sand & Road Base	
11	2	Other Site Work (specify)	
12	2	Footings Concrete	
13	2	Foundations Concrete	
14	2	Steel	
15	2	Termite Treatment	
16	3	Flatwork Concrete - Interior	
17	3	Flatwork Concrete - Exterior	
18	4	Framing Materials	
19	4	Framing Labor	
20	5	Windows & Glazing	
21	6	Exterior Doors & Hardware	
22	6	Interior Doors & Hardware	
23	6	Garage Door (w/ opener)	
24	7	Roofing Materials	
25	7	Roofing Labor	
26	8	Rain Gutters & Flashing	
27	8	Siding	
28	9	Stucco / Masonary	
29	9	Electrical	
30	10	Electrical / Light Fixtures	1,500.00
31	10	Plumbing	
32	11	Plumbing Fixtures	
33	12	HVAC	
34	13	Insulation	
35	14	Drywall	
36	15	Painting	
37	15	Vinyl Flooring	
38	15	Carpet	
39	16	Ceramic Tile / Cultured Marble	
40	17	Counter Tops	
41	18	Cabinets & Vanities	
42	19	Mirrors & Glasswork	
43	20	Appliances	1,500.00
44	21	Finish Material	
45	21	Finish Labor	
46	22	Final Grading	
47	23	Fencing & Landscaping	
48	24	Plaster Foundation	
49	25	Site Clean Up	
50	25	Interior Final Cleaning	
51	26	Miscellaneous	
		Subtotal	
		Builder's Overhead & Profit	
		Total	